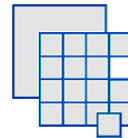


Case Nos. ZON17-0260 & DRB17-00261

Mesa Medical (66th St & McKellips)



Submitted by:



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

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Introduction

Pew & Lake, PLC, on behalf of MS McKellips LLC, is pleased to submit this narrative statement in support of the formal development applications being submitted to the City for Mesa Medical, an approximately 14,000 square foot office building on roughly 2.4 acres, located at the southwest corner of McKellips and 66th Street in northeast Mesa (APNs: 141-65-082, -083, -084 and -085), as shown below:



Figure 1: Vicinity Map

Development Requests

The following development requests are concurrently being made to the City of Mesa for approval:

- ❖ **Rezoning** of approximately 2.416 acres from RS-9 to the NC-BIZ
- ❖ **Site Plan Review** of an approximately 14,000 square foot medical office building and the associated site improvements
- ❖ **Amended/Preliminary Plat** of Pomeroy Estates for the reconfiguration and lot combination of lots previously platted lots
- ❖ **Design Review** of the proposed medical office building

Site Background & Context

The subject parcels are an assembly of four overlooked and undeveloped infill parcels in the Pomeroy Estates subdivision at the southwest corner of McKellips and 66th Street, with arterial and collector street frontages (TAB 1). Pomeroy Estates was recorded in the mid-1970's when the property was under Maricopa County jurisdiction. The subdivision consisted of 49 lots, with these being the last four lots, which never developed residentially over all these years.

Surrounding Conditions

The property lies at a corner of two streets, McKellips and 66th Street. Directly to the east lies the Red Mountain Villas Condominiums (developed in the mid-1990's) and to the south and west are the Pomeroy Estates single-family homes. McKellips is directly to the north of the property, and then Skyway Village is single-family subdivision on the north side of McKellips, which was recorded in the late 1950's, but homes were not constructed until the 1970's. The following map shows the existing and proposed land uses of the surrounding area as it relates to the City's General Plan Character Area classification:

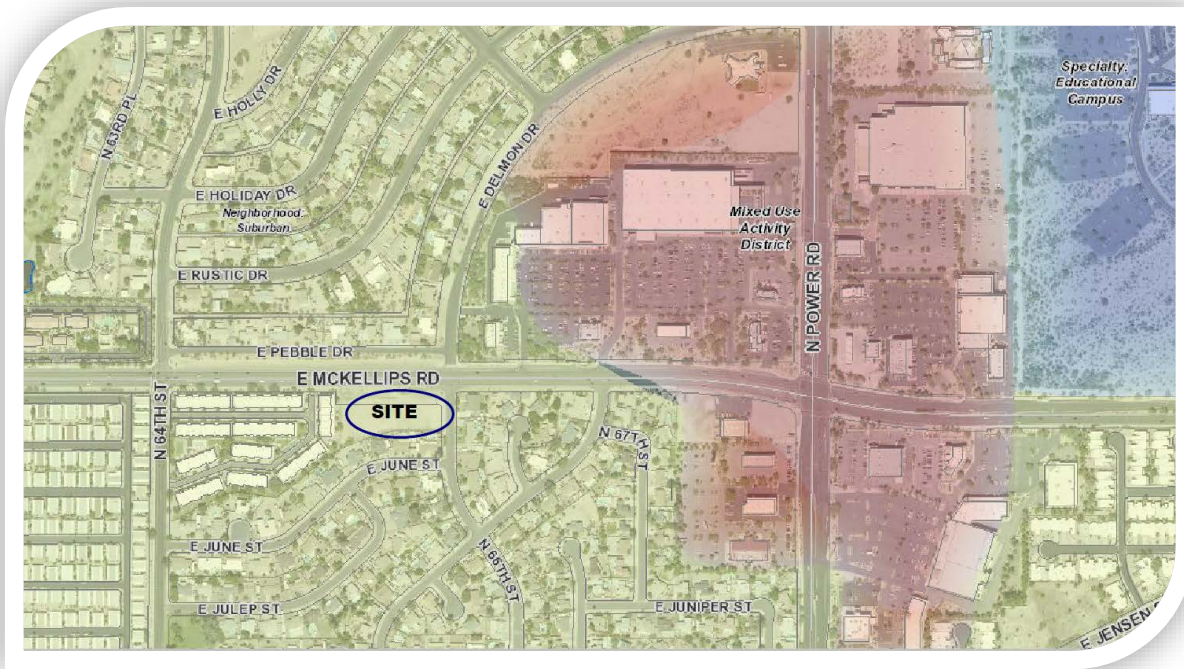


Figure 2: Existing General Plan Character Areas

Zoning Amendment

The subject property is currently zoned for single-family residential. The rezoning request encompasses a change from the RS-9 to the Neighborhood Commercial (NC)-BIZ zoning district for 2.4 acres, which would accommodate the development of a 14,000 square foot medical office building and the associated site improvements.

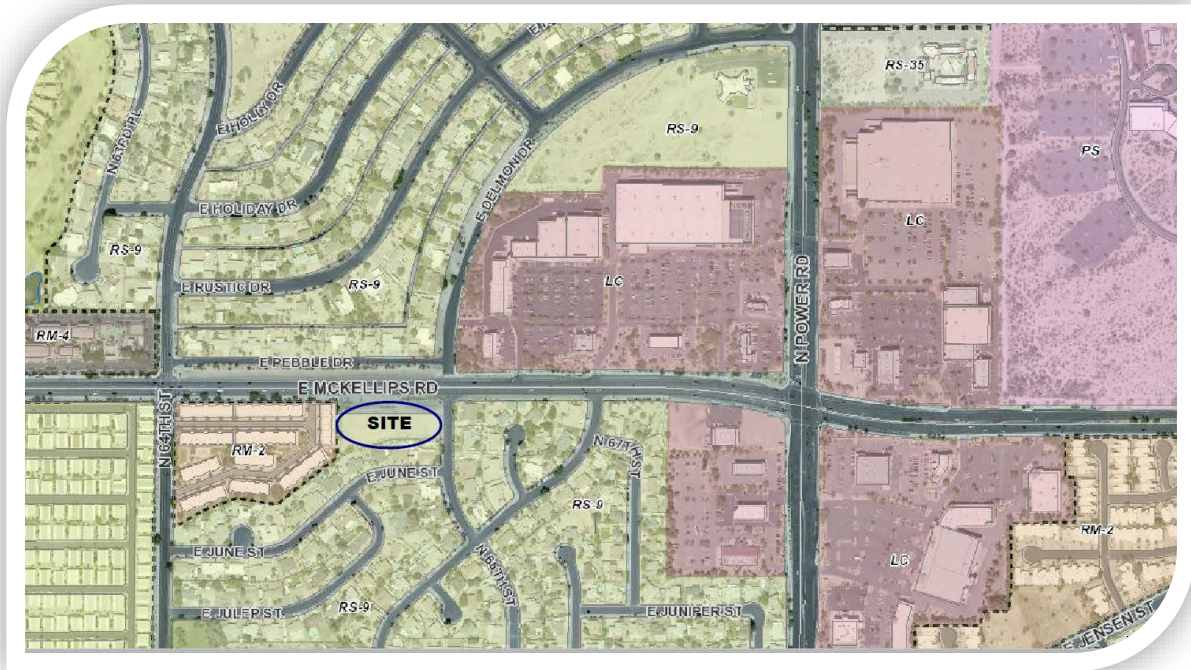


Figure 3: Surrounding Zoning Districts

General Plan Consistency

Mesa Medical is a development proposal that is fully consistent with the "Suburban" Neighborhoods Character Area Sub-type of Mesa's General Plan, and further conformance to the General Plan is demonstrated in the following ways:

- ❖ As part of a total neighborhood area, [Suburban Neighborhood] character type may also contain areas of duplexes and other multi-residence properties and commercial uses along arterial frontages and at major street intersections.
 - An appropriate location for commercial uses, Mesa Medical is located at the intersection of McKellips Road, an arterial, and 66th Street, a collector street, which location integrates with and provides a desirable transitional use with the surrounding single and multi-family residential developments.

- ❖ *The primary focus of the neighborhoods character type is to provide safe places for people to live where they can feel secure and enjoy their surrounding community. Neighborhoods can contain a wide range of housing options and often have associated nonresidential uses such as schools, parks, places of worship, and local serving businesses.*
 - **A single story medical office building is a compatible nonresidential use in the neighborhood, which would provide needed services the neighboring community.**
- ❖ *The total area devoted to local serving businesses (commercial and office activities) in one location is generally less than 15 acres and these businesses would typically serve people within a mile radius of the area.*
 - **This single commercial development is just over two-acres in size and is appropriately scaled and designed to be located adjacent to existing residential uses.**
- ❖ *Nonresidential areas within neighborhoods should be designed and located to bring people together and to not disrupt the fabric and functioning of the neighborhood as a place where people live.*
 - **Through the course of the public outreach on this project, the only two major requests from the adjacent property owners were that the development not have any vehicular access from 66th Street and that the building be single story. This proposal incorporated both of those requests, as there is no driveway located on 66th Street, and the office building is only one story. These considerations will encourage the neighborhood to continue as it has historically functioned and be an asset to the community, not a burden.**
- ❖ *Office and Neighborhood Commercial are identified as secondary land use types appropriate for the Suburban Neighborhood Character Area sub-type*
 - **A proposed medical office is a consistent land use as one of the elements to be incorporated for a vibrant and healthy Suburban Neighborhood Character Area.**

“Great Neighborhoods” Element

Mesa 2040 General Plan states: *“Neighborhoods are the foundation of communities and cities. To be a great city where people want to live, work and play, we need a variety of great neighborhoods.”* A repeated principle throughout The “Great Neighborhoods” element is the encouragement of high-quality architecture, design and materials in the development of properties. This expectation is not exclusively for residential, and Mesa Medical is pleased to be proposing a high-quality architectural designed office building, exceeding minimum building design standards.

Zoning Consistency

Furthermore, the proposal is fully consistent with the purposes of the Neighborhood Commercial (NC) zoning district which is the following:

“To provide areas for locally oriented retail and service uses that serve the surrounding residential trade area within a 1/2 to 2-mile radius. Typical uses include, but are not limited to retail stores, grocery store-anchored shopping centers, drug stores, restaurants and cafes, gas stations, and convenience stores. Other compatible uses include **small-scale medical and professional offices**, personal services, as well as public and semi-public uses. Large-format retail stores are not appropriate in the Neighborhood Commercial District according to the Mesa General Plan.”

Mesa Medical is a small-scale medical and professional offices building that will serve the surrounding community. The site has been designed with the adjacent existing neighborhood in mind, with no vehicular access from the neighborhood street of 66th Street, generous landscaped buffers and setback from the rear property lines and a building that is only a single story.

Development Plan

Mesa Medical consists of a single medical office building of just over 14,000 square feet with dividable tentant suites that have access from a main interior hallway (TAB 2). Commercial site development standards met with this proposal include a building height of 25 feet (maximum permitted 30 feet), the twenty foot landscaped interior perimeter yards, interior parking landscaping and the quantity of plant materials and trees. Sixty-four on-site parking spaces are required and provided. Three foot high parking lot screen walls are also provided along the McKellips Road frontage. Front yard arterial and collector street setbacks of 15 feet are also provided.



Landscape & Open Space

Mesa Medical's landscaping plan meets the minimum requirements of site landscaping and interior landscaped setbacks, of not less than twenty feet on any perimeter when adjacent to the RS zoning district. The proposed natural screen walls of Acacia trees will provide a visual buffer to the adjacent properties. (TAB 3)

Building Design Standards

The office building consists of sand stucco and accent metal channel shade canopies, split face CMU block wainscoting and glass doors and windows on a building with truly four-sided architecture (TAB 4 through 7). Mesa Medical is proposing a functional *and* attractive medical office building that exceeds the City of Mesa's Zoning Ordinance (Section 11-6-3) building design standards, specifically the standards listed below:

- ❖ **Variety in Wall Plane.** Vary exterior building walls in depth and/or direction. Building walls shall exhibit offsets, recesses, or projections with significant depth, or a repeated pattern of offsets, recesses, or projections of smaller depth in a well-integrated composition.
- ❖ **Variety in Height or Roof Forms.** Provide architectural interest at the skyline and accentuate appropriate building elements. Vary building height so that a significant portion of the building has a noticeable change in height; or roof forms are varied over different portions of the building through changes in pitch, plane, and orientation.
- ❖ **Façade Design Incorporates Architectural Detail.** Incorporate details, such as window trim, window recesses, cornices, belt courses, changes in material, or other design elements, into the façade in an integrated composition. Architectural features of the front façade shall be incorporated into the rear and side elevations.
- ❖ **Balconies, Bay Windows, and other such Projections or Recesses.** Incorporate balconies, bay windows, entry porches or other projections and recesses in a pattern that creates architectural interest across the length and height of the façade. Place building projections in a manner that mitigates the effect of solar exposure for users and pedestrians.

Phasing

Mesa Medical will be constructed in a single phase.

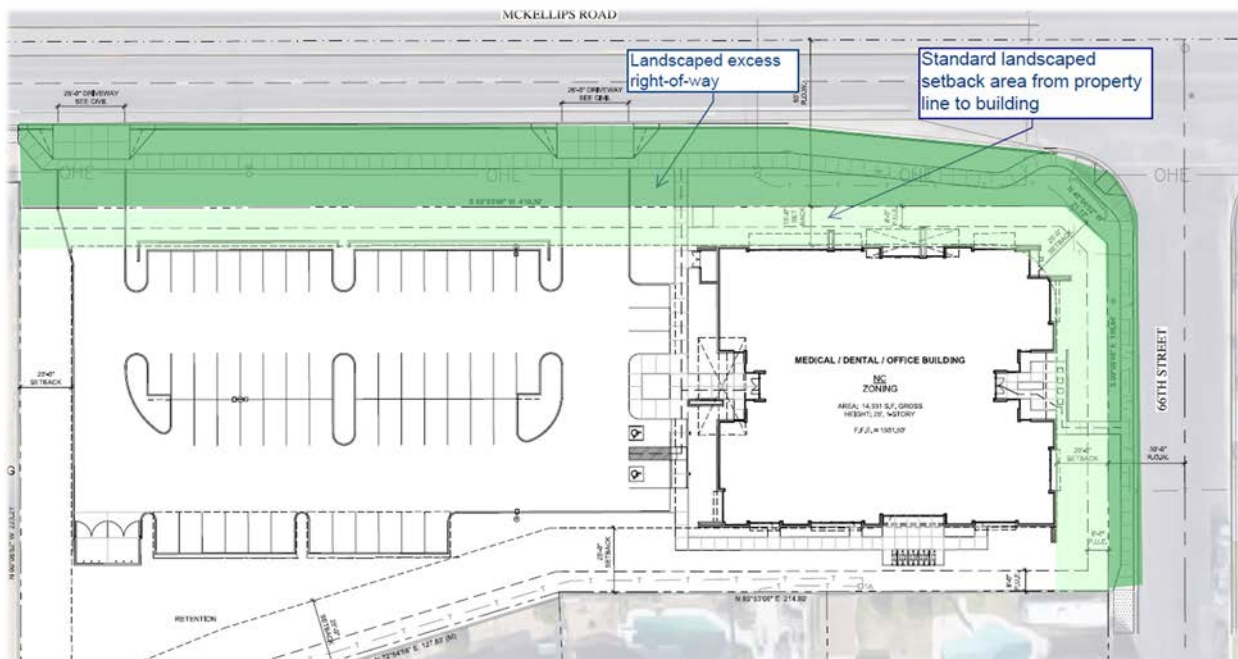


Bonus Intensity Zone (BIZ) Analysis

As a vacant infill parcel integrating into the context of previously developed residential parcels, this project requires the use of the Bonus Intensity Zone (BIZ) overlay for the modification of a Neighborhood Commercial dimensional standard. In addition, the McKellips Road frontage of the property has excess right-of-way of 30 feet for virtually the entire length, creating an even wider buffer than would normally exist. What this means is that from the face of the building to the property line is 15 feet and then from the property line to the back of curb is an additional 30 feet of landscaped area with a detached sidewalk along the McKellips Road frontage.

66th Street frontage also contains excess right-of-way. From the face of building to the property line is 20 feet and then an additional ten feet to the face of curb. This provides an additional five feet of landscaped buffer with a five foot attached sidewalk.

Figure 4 Landscaped Excess Right-of-Way Exhibit



Modified Dimensional Standards (BIZ)

In fully meeting the purpose and intent of Sections 11-6-3(C)(4) *"Incorporating balconies, bay windows, entry porches or other projections and recesses in a pattern that creates architectural interest across the length and height of the façade"* Section 11-6-3(E) the

provisions for permitting building projections into the required setbacks *"Projections should add visual interest and enhance the architecture of the building by providing shade and shadows. Awnings, eaves, overhangs, light shelves and basement window wells may encroach up to 3 feet into any required yard, but shall not be closer than 2 feet to any property line."*¹ The aesthetically pleasing Mesa Medical building's architectural design include accent features that project from the building more than stated and the modification to this design standard is specifically requested with this BIZ application.

Architectural Projection Encroachment

Mesa Medical's architectural design incorporates accent wing walls and metal window brows which provide elevation relief and interest on all four-sides of the building. The design avoids the undesirable flat elevations that otherwise often occur without such architectural features. Consistent with the findings that would have to be made by the Zoning Administrator to approve minor building projections that extend into the required setback, the proposed accent wing wall and window brow overhang encroachments "respond to functional requirements of the project and does not adversely affect the adjacent project, and complies with all requirements of the Building Code, nor are any of the encroachments closer than 2 feet to the property line". In every instance the distance between the architectural projection and property line is at least a minimum of 8 feet.

An example of the metal window brows and accent wing walls are shown below in the building elevation that is facing McKellips Road:

Figure 5 Mesa Medical North Elevation

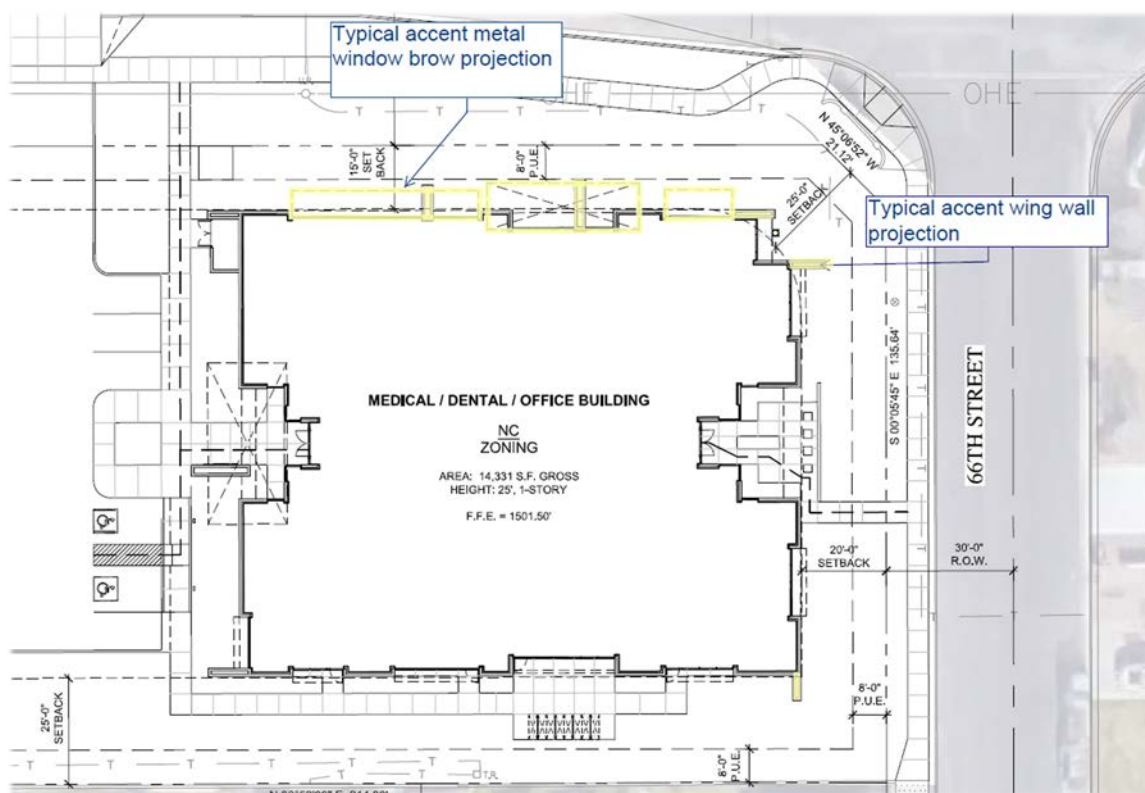


¹ Additional projection into setbacks may be reviewed and approved by the Zoning Administrator; however, with the rezoning already being requested, the preferred mechanism to obtain the additional projections is in conjunction with the Bonus Intensity Zone (BIZ) Overlay rezoning request.

Less than four feet of encroachment is permitted by right in the zoning district and three additional feet for projection of architectural accents and features is requested with this BIZ, for a maximum encroachment of 7 feet (for the major accent wing wall at the front of the building). The other accent wing walls and window brow projections are two to three feet beyond the permitted projection for an average of five to six feet. These architectural accent encroachments occur on the front, side and rear and intersection setbacks².

The proposed accent wing wall projections and window brow overhangs are highlighted in the exhibit below:

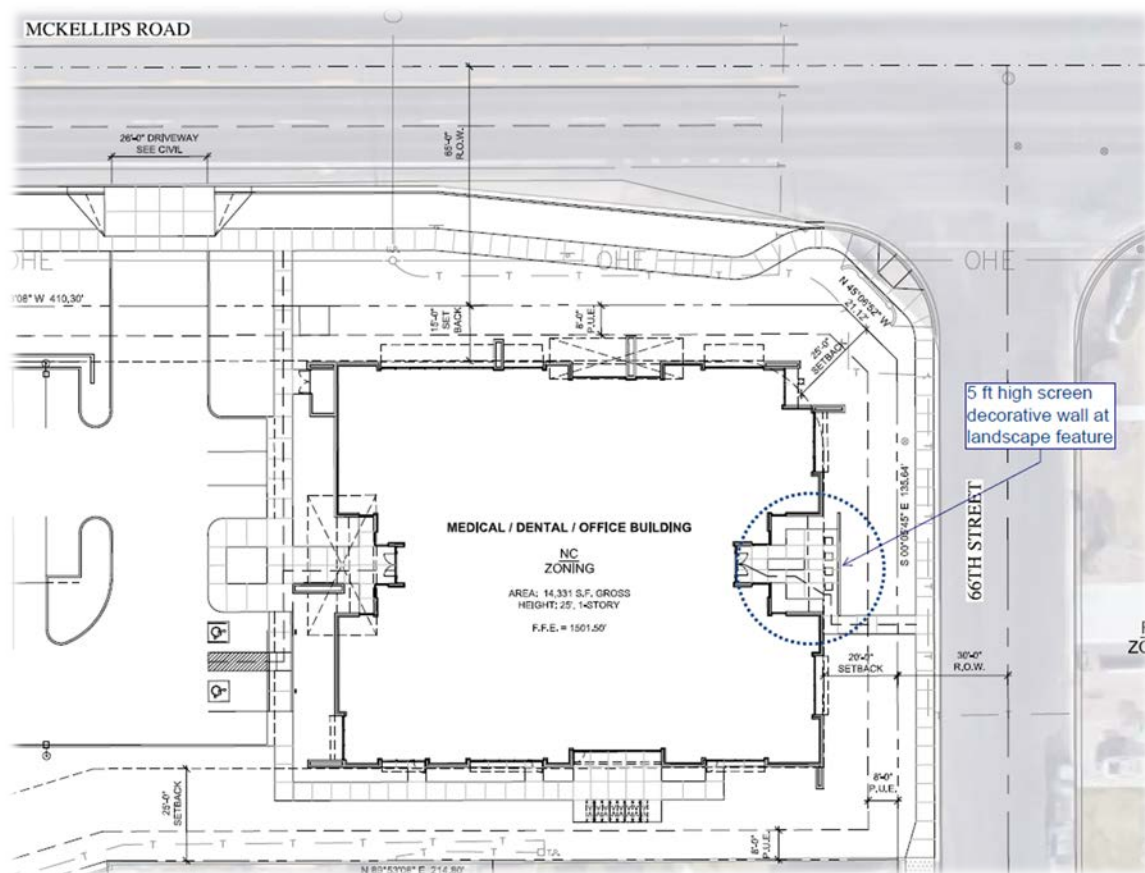
Figure 6 Projection Encroachments Exhibit



² There are some architectural brow and overhand encroachment on the rear and side setback line; however, the encroachment is less than 4 feet and permitted.

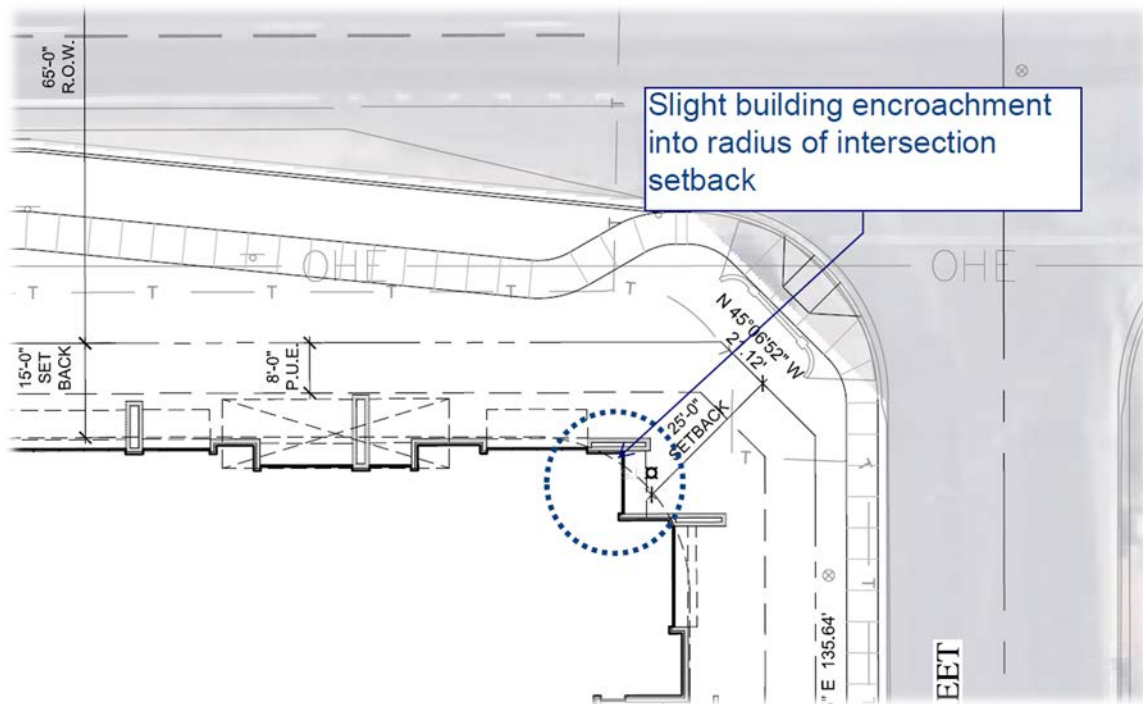
Five-foot High Site Wall

A 5-foot site wall is proposed along the 66th Street entrance to the building and is located within the landscaped setback area. This site wall is the backdrop for courtyard planter area and is the project's landscape feature. The height of the wall exceeds the permitted height in the landscaped setback, but again for design purposes, the decorative courtyard and the enhanced screening provided by this amenity at this location, a modification to this design standard is also included in the BIZ request. This modification does not decrease the landscaping area, both because there is the five feet of excess landscaped right-of-way, but provides a thoughtful well-designed landscaped amenity to the site and provides additional screening for the neighboring properties. The location of this site wall is shown below:



Intersection Encroachment

Lastly, a very small portion of the building's most northeasterly corner lies just inside the 25-foot landscaped radius intersection. Again, with the excess right-of way along both street frontages of this corner, this miniscule encroachment does not negatively impact the corner or cause any less landscaping than what would otherwise occur at that location. The corner encroachment is shown below:



Design Review

As previously demonstrated and described, Mesa Medical office building with its proposed modern architecture and materials exceeds the minimum building design standards. A building materials sheet has been included, as have the lighting cut sheets and photometric plan sheet. The proposed lighting meets City of Mesa development standards when adjacent to residentially developed properties, of parking lot light poles not exceeding 15 feet in height (TAB 8).

Preliminary Plat, Grading & Drainage

An Amended/Preliminary Plat of Pomeroy Estates is included in this request for approvals (TAB 9). This action and approval will also be the means to accomplish “housekeeping” for previously abandoned right-of-way parcels to be incorporated into a single recorded parcel. A preliminary grading, drainage and utility plan is also included and consistent with City of Mesa standards. (TAB 10)

Table of Exhibits

<i>Tab</i>	<i>Description</i>
In text	Vicinity Map
In text	Existing General Plan Character Areas
In text	Surrounding Zoning Districts
1)	Site Context Exhibit
2)	Site Plan
3)	Landscape Plan
4)	Building Elevations, Sections & Floor Plans
5)	Colored Building Elevations
6)	Building Materials Board
7)	Office Building Renderings
8)	Photometric, Electrical Plan & Cut Sheet
9)	Preliminary Plat
10)	Preliminary Grading, Drainage & Utility Plan

1



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4



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9



10



11



12



13



14



5



6





SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286 www.sunstatebuilders.com

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MESA, AZ

08.25.17

MESA MEDICAL





SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286

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MESA, AZ

08.25.17

MESA MEDICAL



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FROM THE APPROPRIATE AGENCIES.



PROJECT DATA

APN: 141-65-082, -083, -084 & -085
ADDRESS: 6543 E. MCKELLIPS
AZ 85034
ZONING: NC (NEIGHBORHOOD COMMERCIAL)

PROPOSED USE: MEDICAL / DENTAL / OFFICE

OCCUPANCY: OFFICE (B)

CONSTRUCTION TYPE: V-B, AFES (per NFPA 13)

SITE AREA: GROSS: 105,260 S.F. (2.416 Acres)
NET: 71,040 S.F. (1.631 Acres)

BUILDING AREA: GROSS: 14,331 S.F.
NET: 12,634 S.F.

LOT COVERAGE: 12,634 S.F. / 71,040 S.F. = 18%

PARKING REQUIRED: 12,634 S.F. / 200 S.F. = 64 Spaces

PARKING PROVIDED: 64 Total

ACCESSIBLE PKG. REQ'D: 2 Spaces

COVERED PARKING: 12 Spaces (Included in total parking count)

BICYCLE PARKING: 64 Spaces Required: 8 Spaces Provided

APPLICANT: SEAN LAKE or VALERIE CLAUSSEN

SEAN LAKE or VALERIE CLAUSSEN
6543 E. MCKELLIPS
MESA, AZ 85034
480.461.4670
sean.lake@seanlake.com
valerie.clausen@seanlake.com

BUILDING AREA DEFINITIONS:
GROSS AREA = OUTSIDE FACE OF WALL / BUILDING DRIP LINE
NET AREA = INSIDE FACE OF WALL / INSIDE FACE OF GLASS

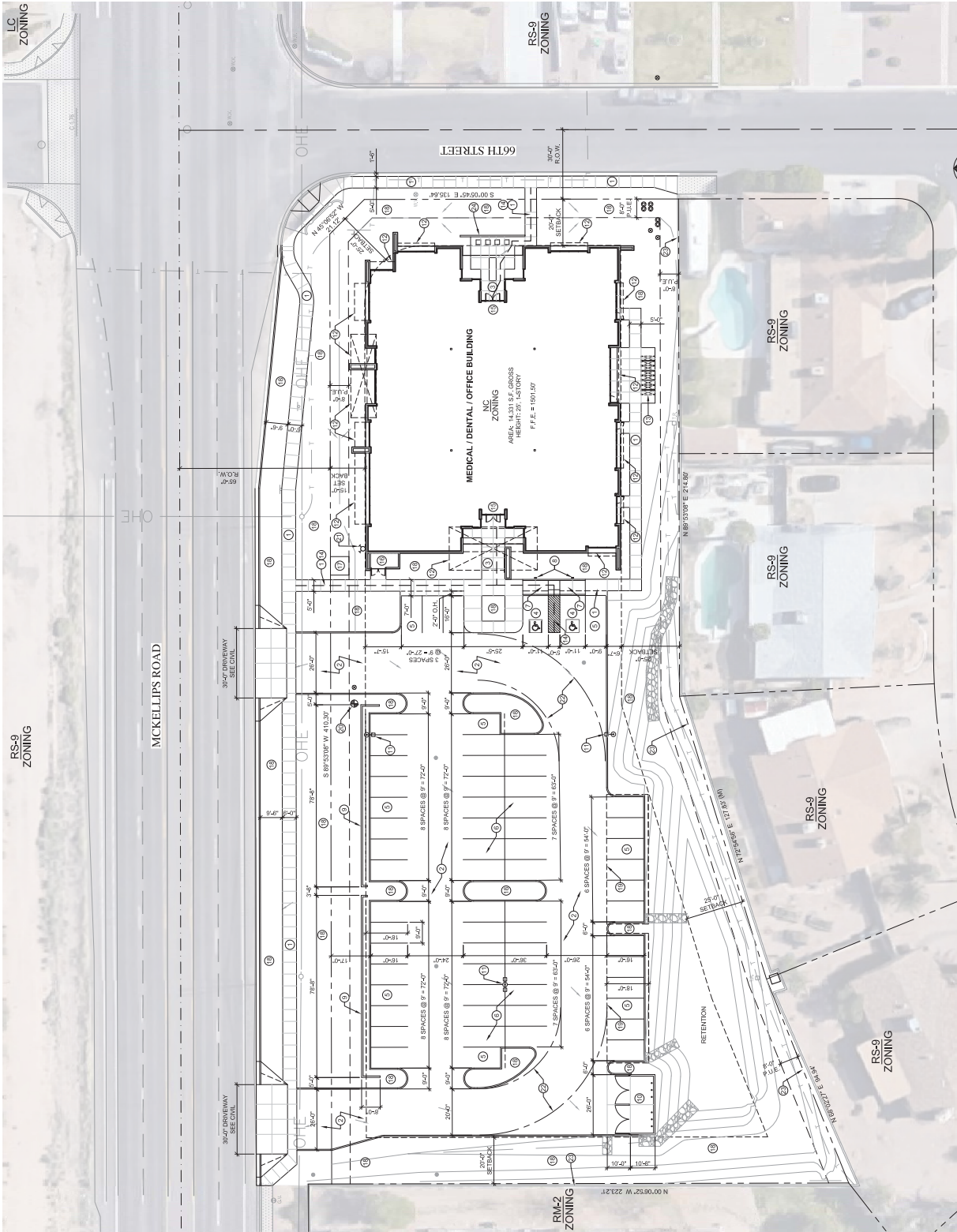
56,371/28

SITE PLAN KEYNOTES

1. NEW CONCRETE SIDEWALK - WIDTH PER PLAN
2. NEW ASPHALT PAVEMENT - SEE CIVIL DRAWINGS
3. NEW CONCRETE ENTRY PAVEMENT - SEE CIVIL DRAWINGS
4. ACCESSIBLE PARKING SPACE (11'-0" WIDE x 18'-0" DEEP W/ 2'-0" OVERHANG, TWO SPACES SHARE 5' WIDE AISLE)
5. STANDARD PARKING SPACE (9'-0" WIDE x 18'-0" DEEP W/ 2'-0" OVERHANG)
6. STANDARD PARKING SPACE (9'-0" WIDE x 18'-0" DEEP)
7. ACCESSIBLE RAMP - SEE CIVIL DRAWINGS
8. ACCESSIBLE PARKING SPACE SIGNAGE
9. 2' HIGH, 8'-0" x 4'-0" SPLIT FACE CMU PARKING SCREEN WALL, PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 5 / A-201
10. DOUBLE BIN REUSE ENCLOSURE ON CONCRETE PAD WITH BOLLARDS PER CITY OF MESA STANDARD DETAILS PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 6 / A-201
11. NEW LIGHT POLE & BASE - SEE ELECTRICAL DRAWINGS
12. PAINTED STEEL CHANNEL ACCENT BROW ABOVE - SEE ELEVATIONS
13. BICYCLE PARKING SPACE, 2' x 6' CLEAR SPACE, 2 SPACES SHARE ONE U-SHAPED RACK
14. ACCESSIBLE ROUTE TO ACCESSIBLE PARKING SPACES AND THE PUBLIC WAY
15. PRIMARY BUILDING ENTRY
16. SES - SEE ELECTRICAL DRAWINGS
17. TRANSFORMER - SEE ELECTRICAL DRAWINGS
18. LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
19. FUTURE PARKING CANOPY
20. NEW FIRE HYDRANT - SEE CIVIL DRAWINGS
21. NEW F.D.C. - SEE CIVIL DRAWINGS
22. FIRE TRUCK TURNING RADIUS - 35' INSIDE & 55' OUTSIDE RADIUS
23. EXISTING 6' HIGH PROPERTY LINE WALL
24. NEW 5' HIGH SCREEN WALL, STUCCO ON CMU

LEGAL DESCRIPTION

LOTS 146, 47, 48, 49, OF POMEROY ESTATES, ACCORDING TO THE
PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF
MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 173 OF MAPS,
PAGE 43 AND CERTIFICATE OF CORRECTION RECORDED MAY 30,
1975 IN DOCKET 11161, PAGE 168.



SITE PLAN
SCALE: 1" = 20'-0"



SSB - MESA MEDICAL
SITE PLAN
MESA, AZ

A-101
08/07/17



LANDSCAPE LEGEND

- PISTACHE 'RED PUSH'
RED PUSH PISTACHE
24" BOX (MATCHING)
- PISTACHE LENTISCUS
MASTIC TREE
36" BOX
- ACACIA SALICINA
WILLOW ACACIA
24" BOX
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HEPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRON WHEELERII
DESERT SPOON
5 GALLON
- MUHLENBERGIA 'REGAL MIST'
REGAL MIST DEER GRASS
5 GALLON
- RUPELLIA PENINSULARIS
BAJA RUPELLIA
5 GALLON
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON
- NANDINA DOMESTICA
HEAVENLY BAMBOO
5 GALLON
- PACHYCERUS MARINATUS
MEXICAN FENCE POST
24" BOX (5 TRUNK MIN.)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



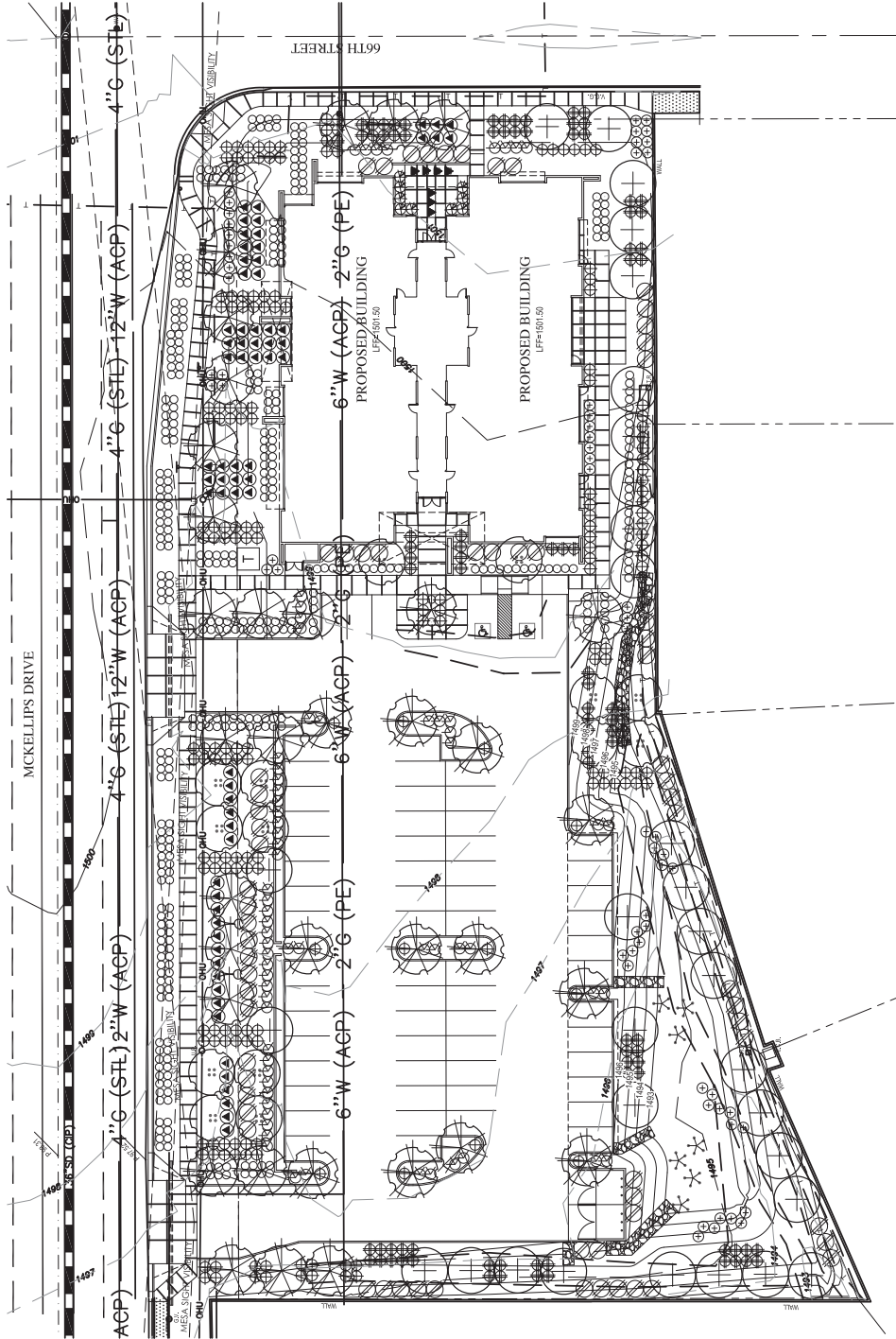
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T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
CITY OF MESA
SITE PLANNING
8433 East Collins St., Suite 101
Scottsdale, Arizona 85260
P: (480) 265-0000
FAX: (480) 265-0001
EMAIL: tmmarquien@tma.net



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LANDSCAPE PLAN



CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. ALL PLANTINGS SHALL COMPLY WITH ARIZONA NURSERY ACT AND ALL OTHER APPLICABLE REGULATIONS FOR PLANT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRED SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.
7. TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
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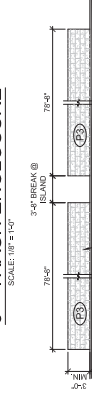
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURED AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS
14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'
15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR
16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LOC.
17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

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DOUBLE BIN ENCLOSURE: PAINTED SPLIT FACE CMU
SCREEN WALLS W/ PAINTED METAL FRAME AND METAL
- DECK GATES, SIZE PER CITY STANDARD DETAIL



6 TRASH ENCLOSURE



5 PARKING SCREEN WALL

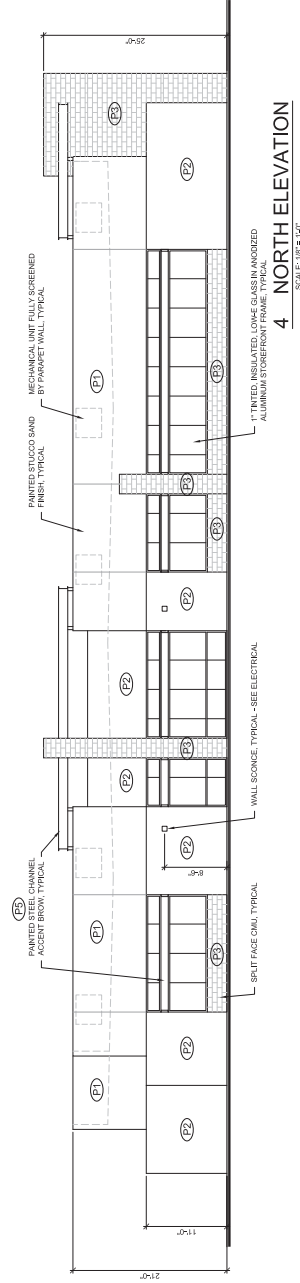
PAINT & MATERIAL LEGEND:	
ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT	
P1	DEC741 BONE WHITE, LRV 69
P2	DEC762 BIRCHWOOD, LRV 49
P3	DEC750 BISON BEIGE, LRV 27
P4	DEC581 NEWBURY PORT, LRV 10
P4	DEC467 HARRISON RUST, LRV 15
ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, UNCO.	

<p>GLASS & FRAMES:</p> <p>CLEAR LOW REFLECTIVE VISION GLASS: GUARDIAN SNR 43 / CLEAR 1" INSULATED UNITS, 144" PANES W/ MILL SPACER.</p> <p>VISIBLE LIGHT TRANSMITTANCE: 43% SOLAR TRANSMITTANCE: 17% SOLAR HEAT REJECTION: 77% SUMMER / WINTER U-VALUE: 0.27 / 0.29 SHADING CO-EFFICIENT: 0.26 SHGC: 0.23</p> <p>CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES</p>

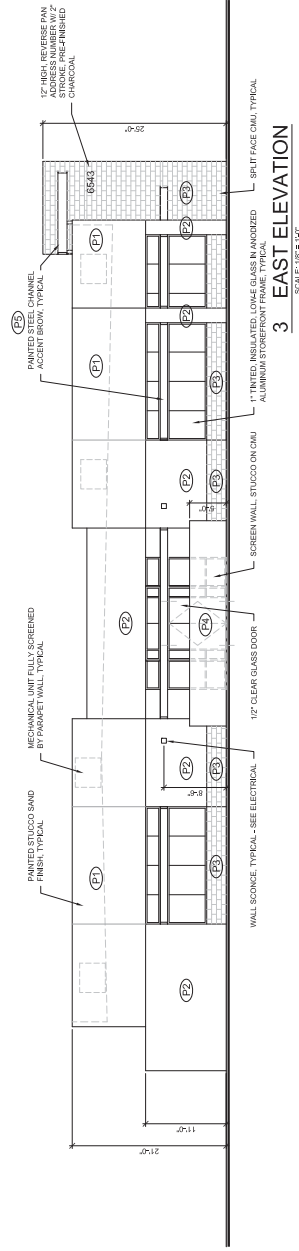
ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

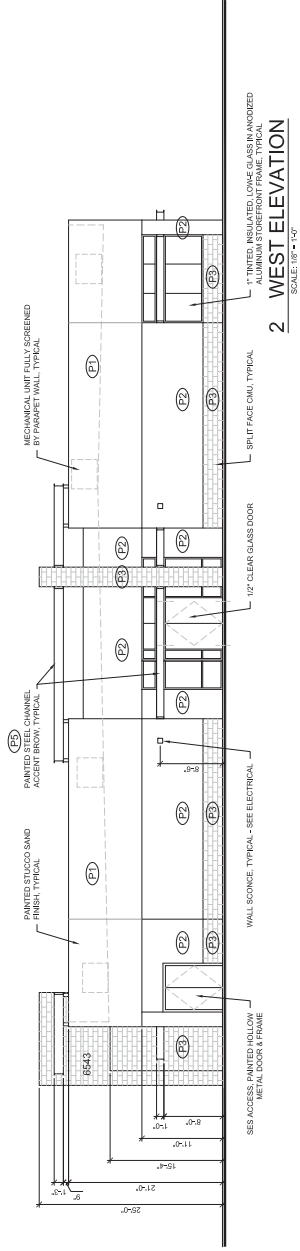
PRE-SUBMITTAL #PS16-0104



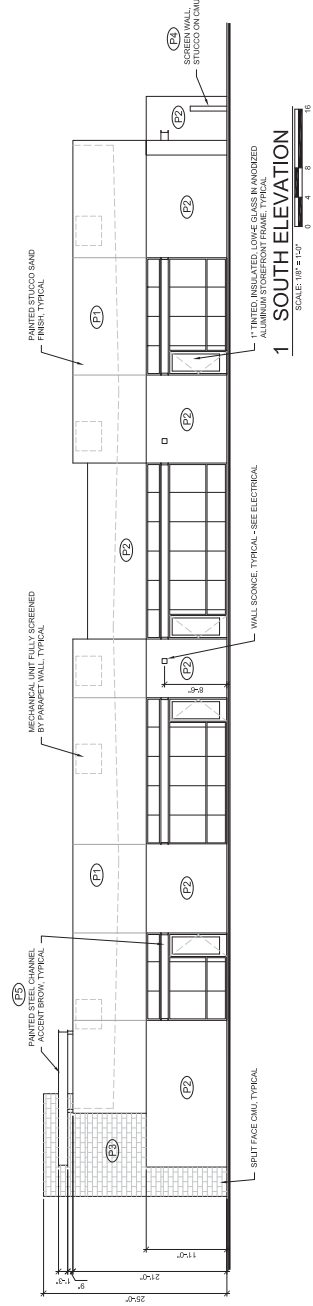
4 NORTH ELEVATION



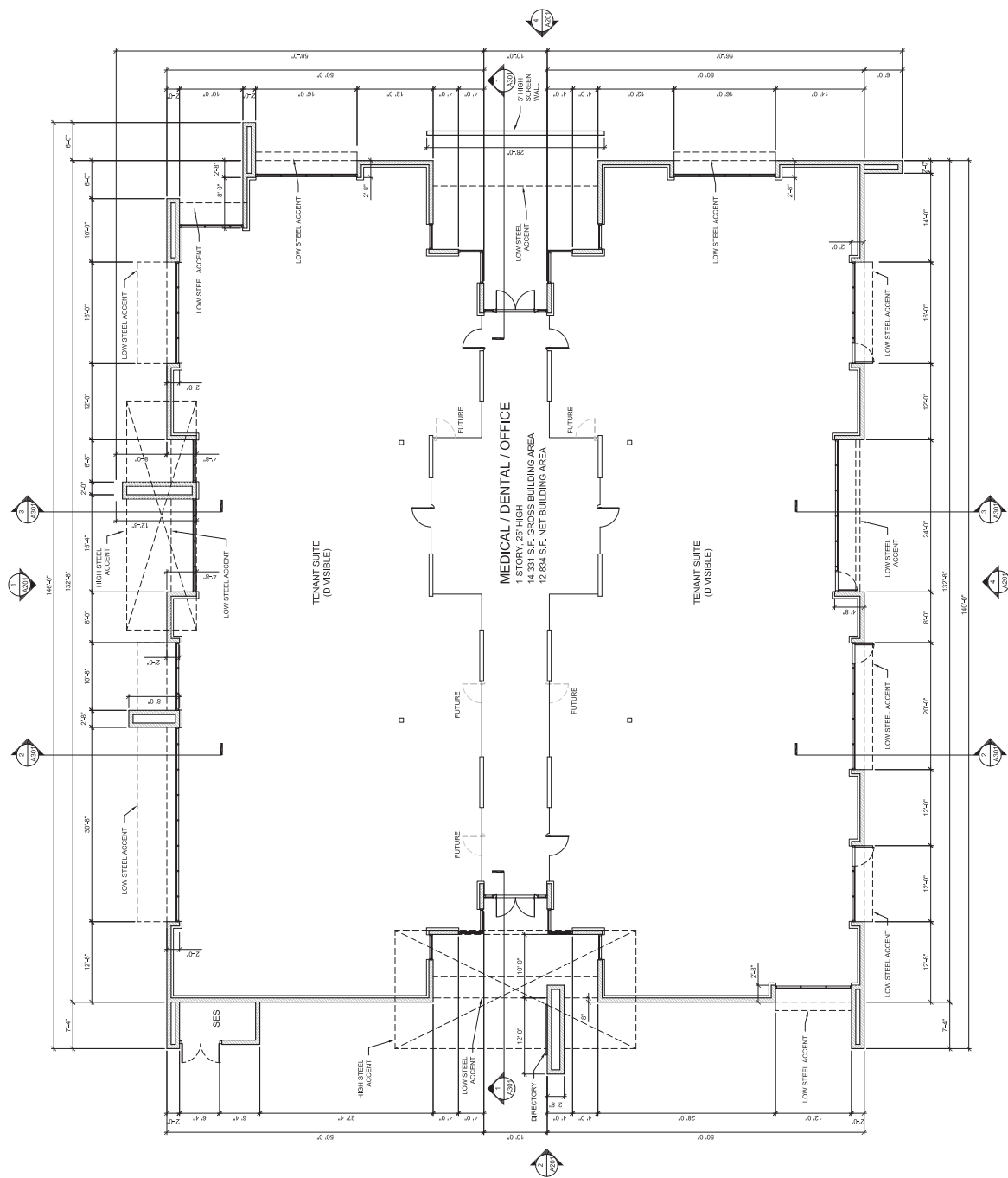
3 EAST ELEVATION



2 WEST ELEVATION



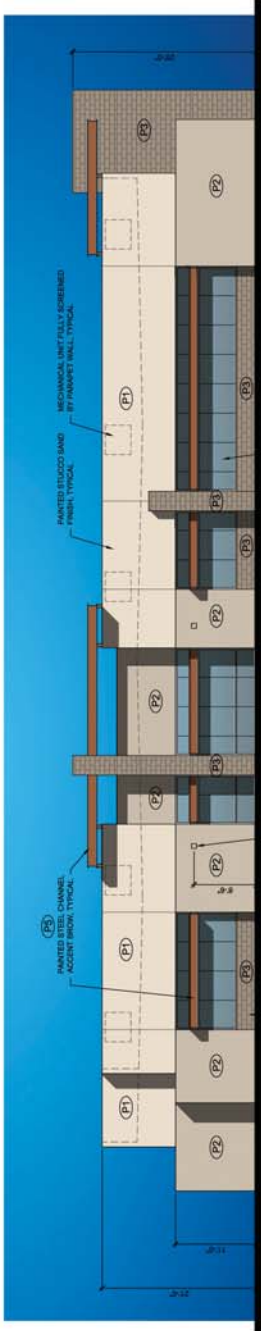
1 SOUTH ELEVATION



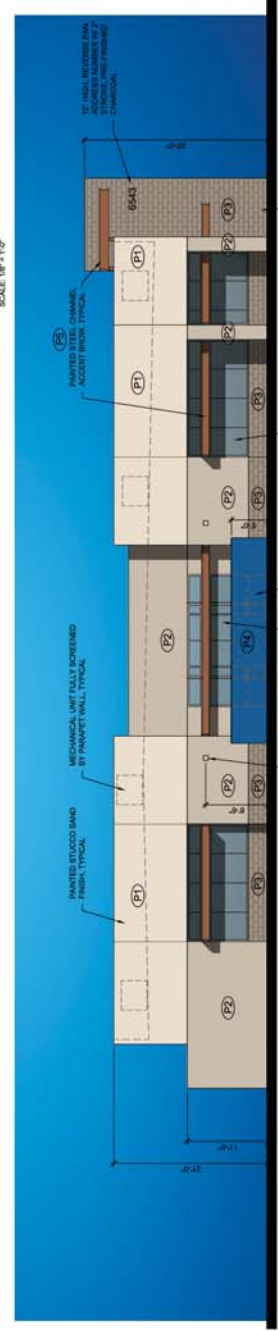
1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

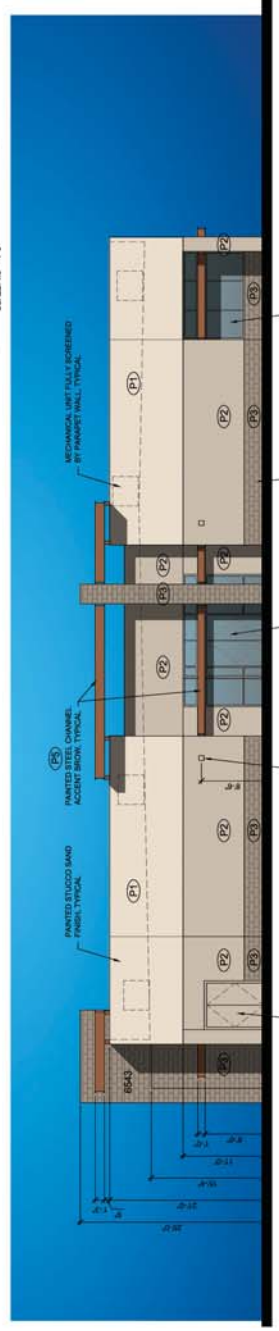
THESE ELEVATIONS ARE AN APPROXIMATION OF THE EXTERIOR OF THE BUILDING. THEY ARE NOT TO BE USED FOR CONSTRUCTION. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE. ANY CHANGES TO THE BUILDING SHALL BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THE BUILDING SHALL BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THE BUILDING SHALL BE APPROVED BY THE ARCHITECT.



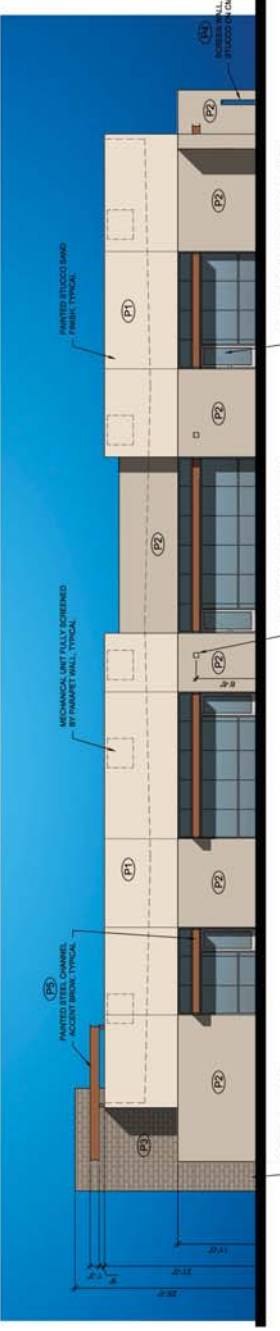
4 NORTH ELEVATION



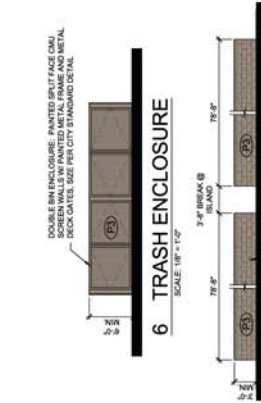
3 EAST ELEVATION



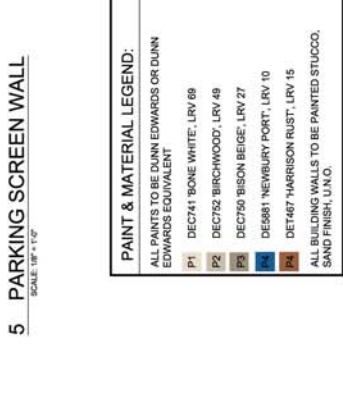
2 WEST ELEVATION



1 SOUTH ELEVATION



6 TRASH ENCLOSURE



5 PARKING SCREEN WALL

PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

P1	DEC741 'BONE WHITE', LRV 68
P2	DEC752 'BIRCHWOOD', LRV 49
P3	DEC750 'BISON BEIGE', LRV 27
P4	DES581 'NEWBURY PORT', LRV 10
P5	DET487 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

CLEAR LOW REFLECTIVE VISION GLASS: GUARDIAN SNG 43 / CLEAR, 1" INSULATED UNITS, 14"

PANES W/ MILL SPACER.

VISIBLE LIGHT TRANSMITTANCE: 43%

U-VALUE: 0.27

SHADING CO-EFFICIENT: 0.23

U-VALUE: 0.27 / 0.29

SHADING CO-EFFICIENT: 0.26

SHGC: 0.23

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED ON AS REQUIRED BY LOCAL CODES

ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

SSB - MESA MEDICAL
MESA, AZ
EXTERIOR ELEVATIONS

A-201
3/20/20
00001177



MESA MEDICAL

MATERIAL BOARD 10.03.17



split face CMU block



smooth stucco finish



DEC741 'BONE WHITE', LRV 69



DEC752 'BIRCHWOOD', LRV 49



DEC750 'BISON BEIGE', LRV 27



DE5881 'NEWBURY PORT', LRV 10



DET467 'HARRISON RUST', LRV 15

★ ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT
★ ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH

Paint Selections



metal 'c' channel shade canopies



insulated glass



frameless glass entry doors

GLASS & FRAMES:	
CLEAR LOW REFLECTIVE VISION GLASS:	
GUARDIAN SNR 437 CLEAR; 1" INSULATED UNITS, 1/4" PANES W/ MILL SPACER.	
VISIBLE LIGHT TRANSMITTANCE:	43%
SOLAR TRANSMITTANCE:	17%
U-V TRANSMITTANCE:	19%
SUMMER / WINTER U-VALUE:	0.27 / 0.29
SHADING CO-EFFICIENT:	0.26
SHGC:	0.23
CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES	



typical store front



Calculation Summary					
Label	CalcType	Units	Avg	Min	Max/Min
Site	Illuminance	Fc	2.52	0.0	N.A.



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2000 W. 10TH AVE. SUITE 200
DENVER, COLORADO 80202
TEL: 303.733.1234 FAX: 303.733.1235

Project Consultant: DAVE HAWKINS
Phone: 1-877-276

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IF DRAWING IS NOT PLOTTED AT 1/8" x 3/16" THEY ARE NOT FULL SIZE

IF DRAWING IS NOT PLOTTED AT 24 x 36 THEY ARE NOT FULL SIZE

IF DRAWING IS NOT PLOTTED AT 24 x 36 THEY ARE NOT FULL SIZE

MESA MEDICAL
PRELIMINARY PLAT

A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

WOOD/PATEL
MISSION: CLIENT SERVICE
WWW.WOODPATEL.COM
(602) 335-8500

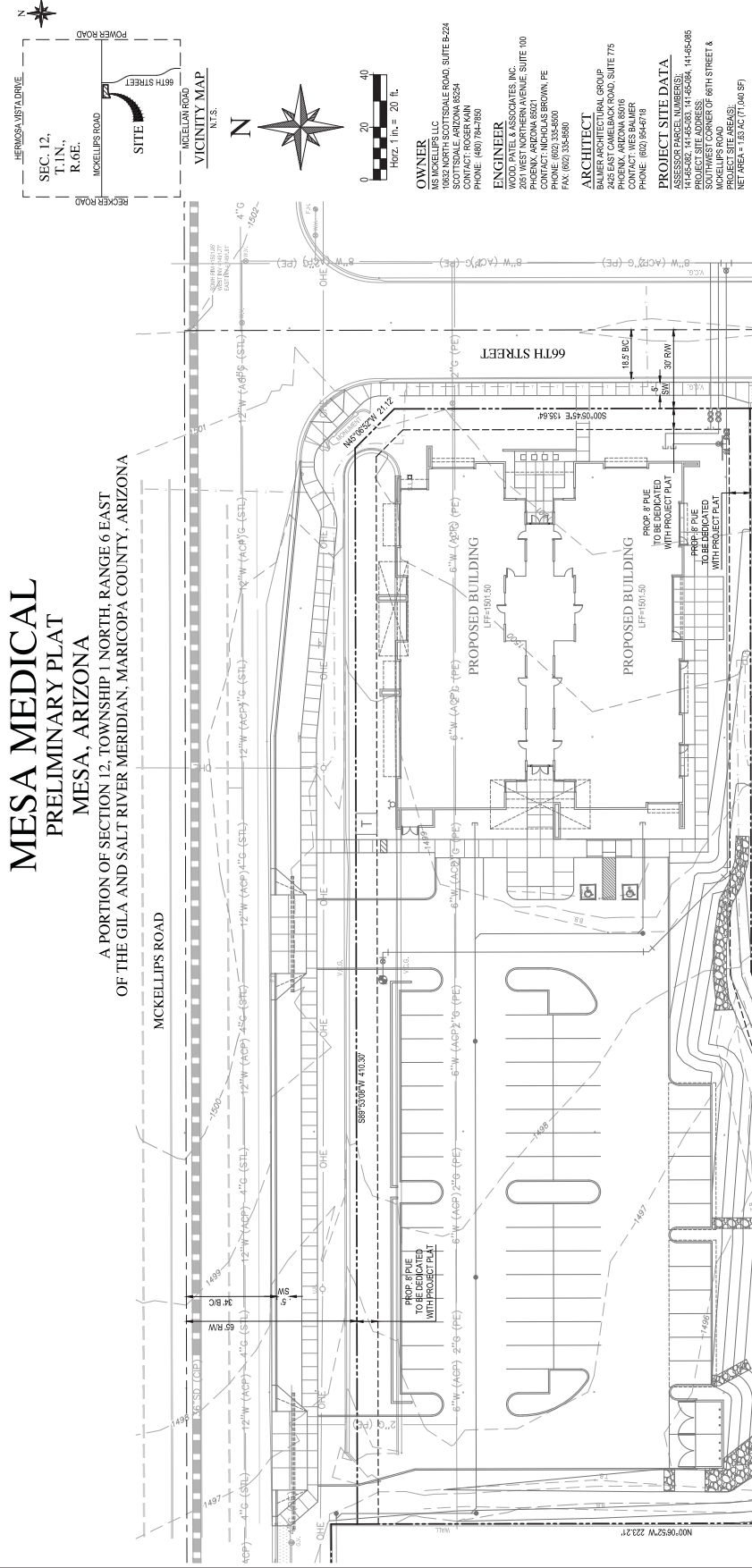


MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
PRELIMINARY PLAT
MESA, ARIZONA

DATE	DESCRIPTION



SCALE (HORIZ.) 1" = 20'
SCALE (VERT.) 1" = 20'
DATE: 11/03/2017
JOB NUMBER: 170627
SHEET: 1 OF 1



BENCHMARK
THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON A CUT NAIL WITH TAG ON TOP OF NORTHEAST CORNER RETURN OF THE INTERSECTION OF POWER ROAD AND MCKELLIPS ROAD, HAVING AN ELEVATION OF 1522.97, CITY OF MESA AND BE DATUM.

BASIS OF BEARING
THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON THE MARICOPA COUNTY SURVEY SYSTEM, WHICH IS A STATE PLAT SURVEY SYSTEM. THE SURVEY INFORMATION LINK ON WWW.AZDOCS.MARICOPA.GOV, UNDER THE SURVEY INFORMATION LINK ON MAY 8, 2017.

PROJECTION: CENTRAL ZONE, NAD 83, (EPSG:2010)
DATUM: GRS-80
UNITS: INTERNATIONAL FEET
GEOD. MODEL: GRS-80
CONTROL POINT: V 517
PD: DUG37
ELEVATION: 1114.411, 3889.70
LONGITUDE: 111.441, 3889.70
ELEVATION HEIGHT: 411.880 (METERS)
DESCRIPTION: BRASS DISK IN CONCRETE STAMPED V 517 1992
MODIFIED TO GROUND AT GRID N: 86008.774, E: 78875.525, USING A SCALE FACTOR OF 1.001591680.
HORIZONTAL ADJUSTMENT: NONE
HORIZONTAL ROTATION: NONE

LEGEND

EXISTING SURVEY	PROPOSED GRAVING, DRAINAGE & PAVING
SECTION LINE	MAJOR CONTOUR
RIGHT OF WAY	MINOR CONTOUR
ROAD CENTERLINE	STORM DRAIN PIPE
EASEMENT	SLOPE ARROW
US ELECTRIC (BURIED CABLE)	RP RAMP
US TELEPHONE	PROPOSED WATER & SEWER
CHAIN LINK FENCE	WATER LINE
GAS LINE	WATER LINE FITTINGS
SEWER LINE	BACKFLOW PREVENTION DEVICE
STORM DRAIN PIPE	WATER VALVE
WATER LINE	FIRE HYDRANT
MINOR CONTOUR	PLUG
FIRE HYDRANT	TAPPING SLEEVE & VALVE
STREET PARKING LIGHT	SEWER LINE
UTILITY POLE	CLEANOUT

ABBREVIATIONS

SB	BOTTOM OF BANK	PL	PROPERTY LINE
BC	BACK OF CURB	PUE	PUBLIC UTILITY EASEMENT
CF	CURB FEET	RAW	RIGHT-OF-WAY
C.O.	CLEAR OUT	SDMH	STORM DRAIN MANHOLE
C.T.R.	CABLE TV RISER	SE	SEWER EASEMENT
DE	DEPT. OF ENVIRONMENT	S.J.B.	STREET LIGHT JUNCTION BOX
E.O.	ELECTRICAL OUTLET	SAH	SEWER MANHOLE
FI	FIRE HYDRANT	SS	SEWER SERVICE
G.S.	GAS SERVICE	T.B.	TELEPHONE JUNCTION BOX
G.V.	GAS VALVE	U.E.	UTILITY EASEMENT
I.V.	IRRIGATION VALVE	U.P.	UTILITY POLE
LC	LOWEST FINISHED FLOOR ELEVATION	WE	WATER EASEMENT
LF	LOWEST FINISHED FLOOR ELEVATION	WE	WATER EASEMENT

A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

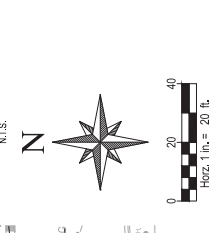
(602) 335-8500
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4880
MOLAR E.
BROWN

SCALE (HORIZ.) 1" = 20'
SCALE (VERT.) N/A
DATE 10/03/2017
JOB NUMBER 174657
SHEET

1 OF 2



ENGINEER
WOOD, PATEL & ASSOCIATES, INC.
2051 WEST NORTHERN AVENUE, SUITE 100
PHOENIX, ARIZONA 85021
CONTACT: NICHOLAS BROWN, PE
PHONE: (602) 335-8500
FAX: (602) 335-8580

ARCHITECT
BALMER ARCHITECTURAL GROUP
2425 EAST CAMELBACK ROAD, SUITE 775
PHOENIX, ARIZONA 85016
CONTACT: VES BALMER
PHONE: (602) 954-5718

PROJECT SITE DATA
ASSESSOR PARCEL NUMBER(S):
 141-65-082, 141-65-083, 141-65-084, 141-65-085
PROJECT SITE ADDRESS:

OSCAPE
SOUTHWEST CORNER OF 66TH STREET &
MCKELLIPS ROAD
PROJECT SITE AREA(S):
NET AREA = 1.63 AC (71,040 SF)
DISTURBED AREA = 1.6± AC

FOR THIS SURVEY IS BASED ON A CUT NAIL WITH TAG
CURB RETURN OF THE INTERSECTION OF POWER
ROAD, HAVING AN ELEVATION OF 1522.97, CITY OF

ARING
MI FOR THIS SURVEY IS BASED ON THE MARICOPA
OF TRANSPORTATION (MCDOT) GEODETIC
DISTRAL SURVEY (GDACS) WEBSITE
A.GOV, UNDER THE SURVEY INFORMATION LINK ON

ZONE, NAD 83, (EPOCH 2010)

FEET

012A

12
E 33°26'33.37039"N
DE: 111°44'11.3693"W
D HEIGHT: 411.893 (METERS)
TION: BRASS DISK IN CONCRETE STAMPED V 517 1992

AT (GRID) N: 892008.774, E: 768275.225, USING A
01561680.

1. NONE

TOTAL 71,040 11,325

*WEIGHTED COEFFICIENTS DETERMINED USING C=0.50 FOR LANDSCAPE AREAS AND C=0.95 FOR PAVEMENT, CONCRETE AND ROOF AREAS.

ש. 100.000

TOTAL 12,300

156

RETENTION CALCULATIONS

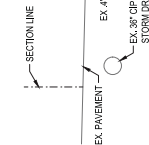
$$V_0 \equiv Cx(P/12) \times A$$

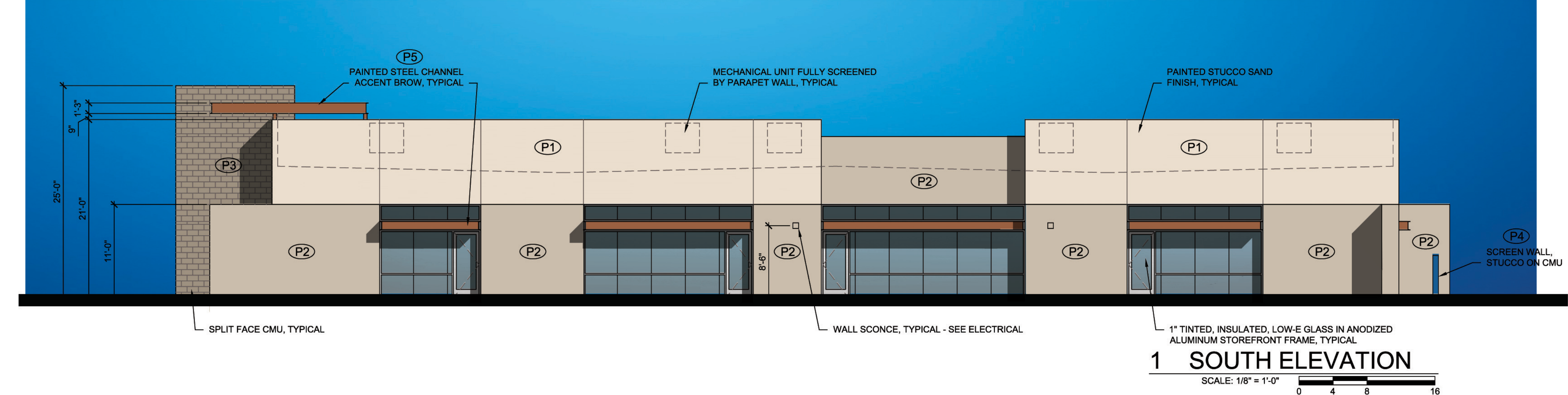
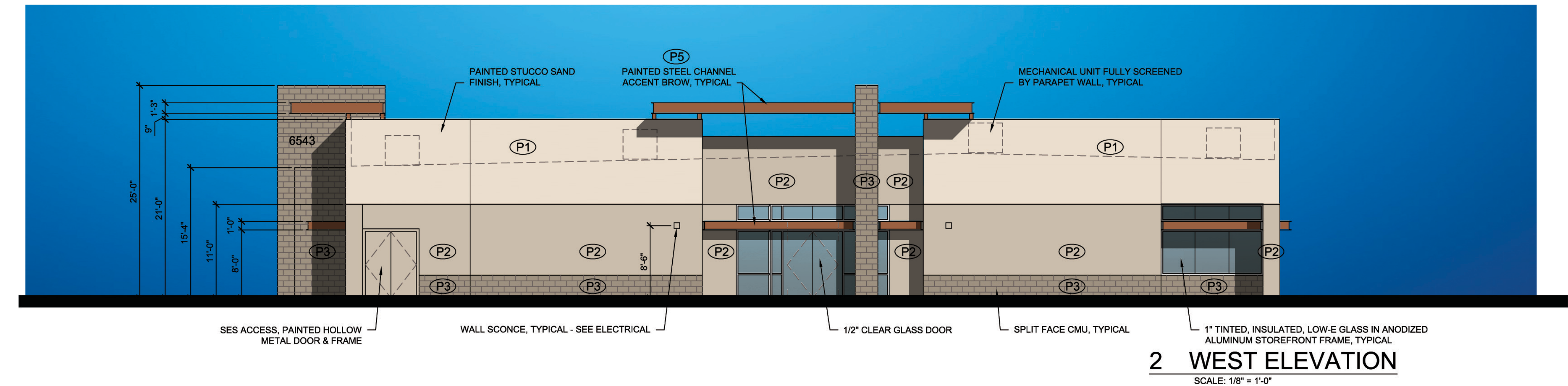
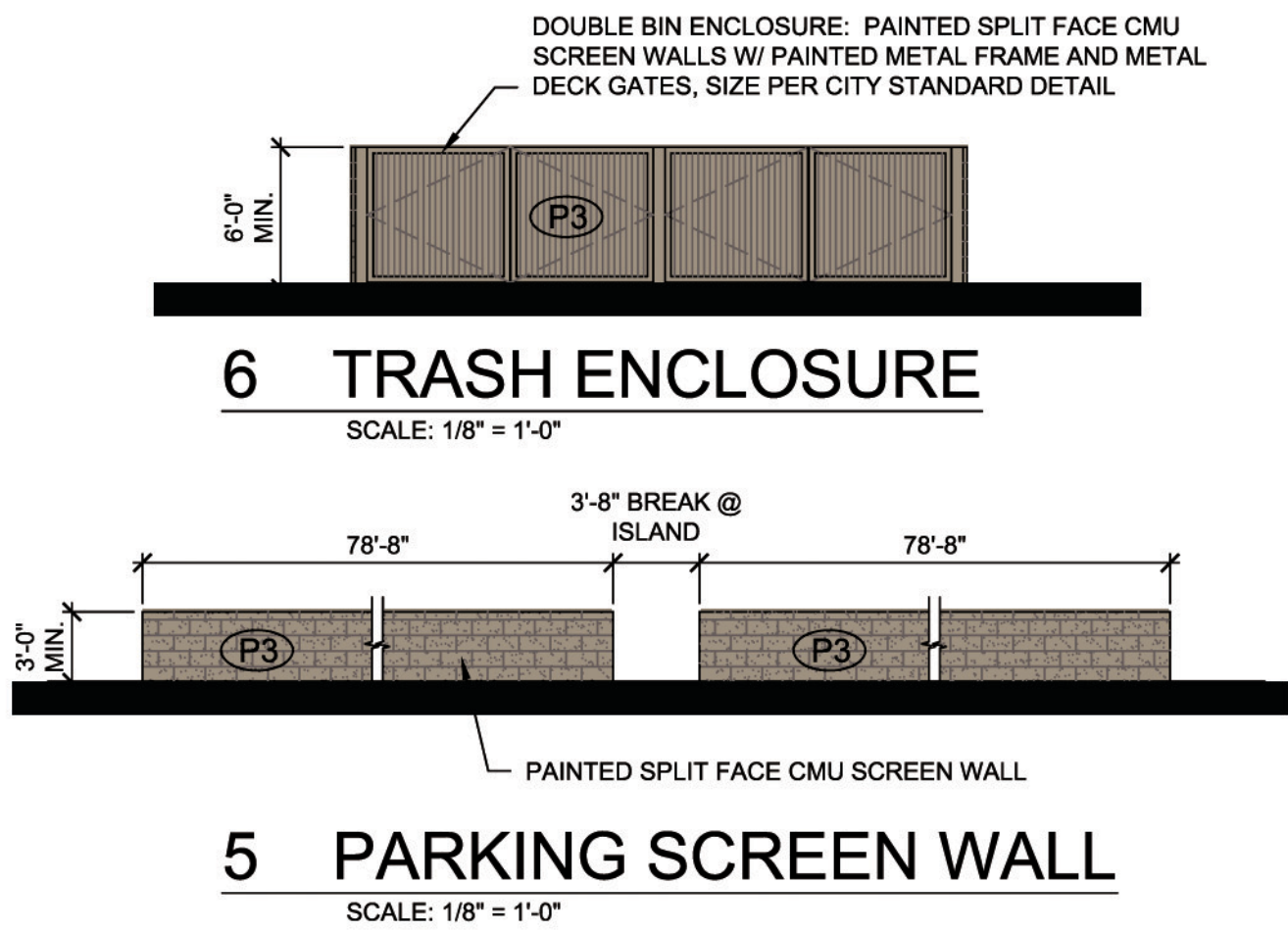
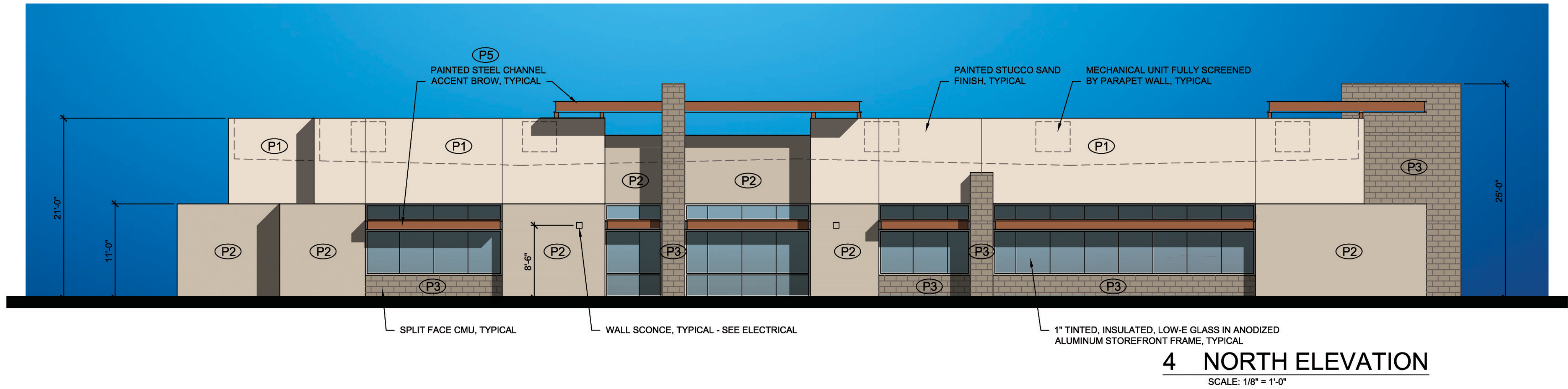
DESIGN STORM: 100-YEAR, 2-HOUR

RAINFALL DEPTH: P: 2 16 INCHES

0.5 x TOP CO

 $V_p(\text{BASIN}) =$





PAINT & MATERIAL LEGEND:	
ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT	
P1	DEC741 'BONE WHITE', LRV 69
P2	DEC752 'BIRCHWOOD', LRV 49
P3	DEC750 'BISON BEIGE', LRV 27
P4	DE5881 'NEWBURY PORT', LRV 10
P4	DET467 'HARRISON RUST', LRV 15
ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.	

GLASS & FRAMES:	
CLEAR LOW REFLECTIVE VISION GLASS: GUARDIAN SNR 43 / CLEAR; 1\"	
PANES W/ MILL SPACER.	
VISIBLE LIGHT TRANSMITTANCE:	43%
SOLAR TRANSMITTANCE:	17%
U-V TRANSMITTANCE:	19%
SUMMER / WINTER U-VALUE:	0.27 / 0.29
SHADING CO-EFFICIENT:	0.26
SHGC:	0.23
CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES	

ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

SSB - MESA MEDICAL
MESA, AZ
EXTERIOR ELEVATIONS

A-201
37010
03OCT17



SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286 www.sunstatebuilders.com

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MESA, AZ
08.25.17

MESA MEDICAL





SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286

www.sunstatebuilders.com

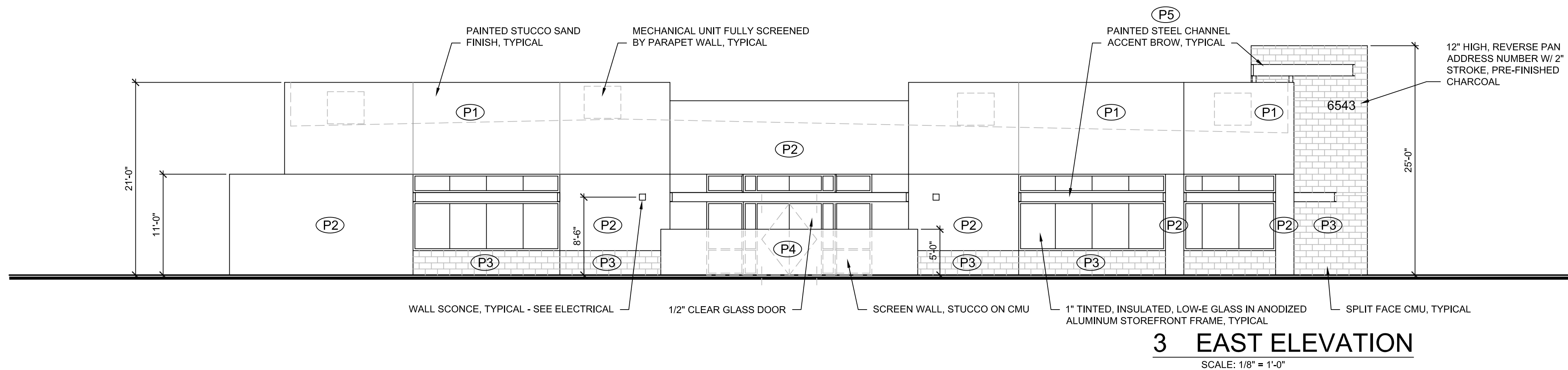
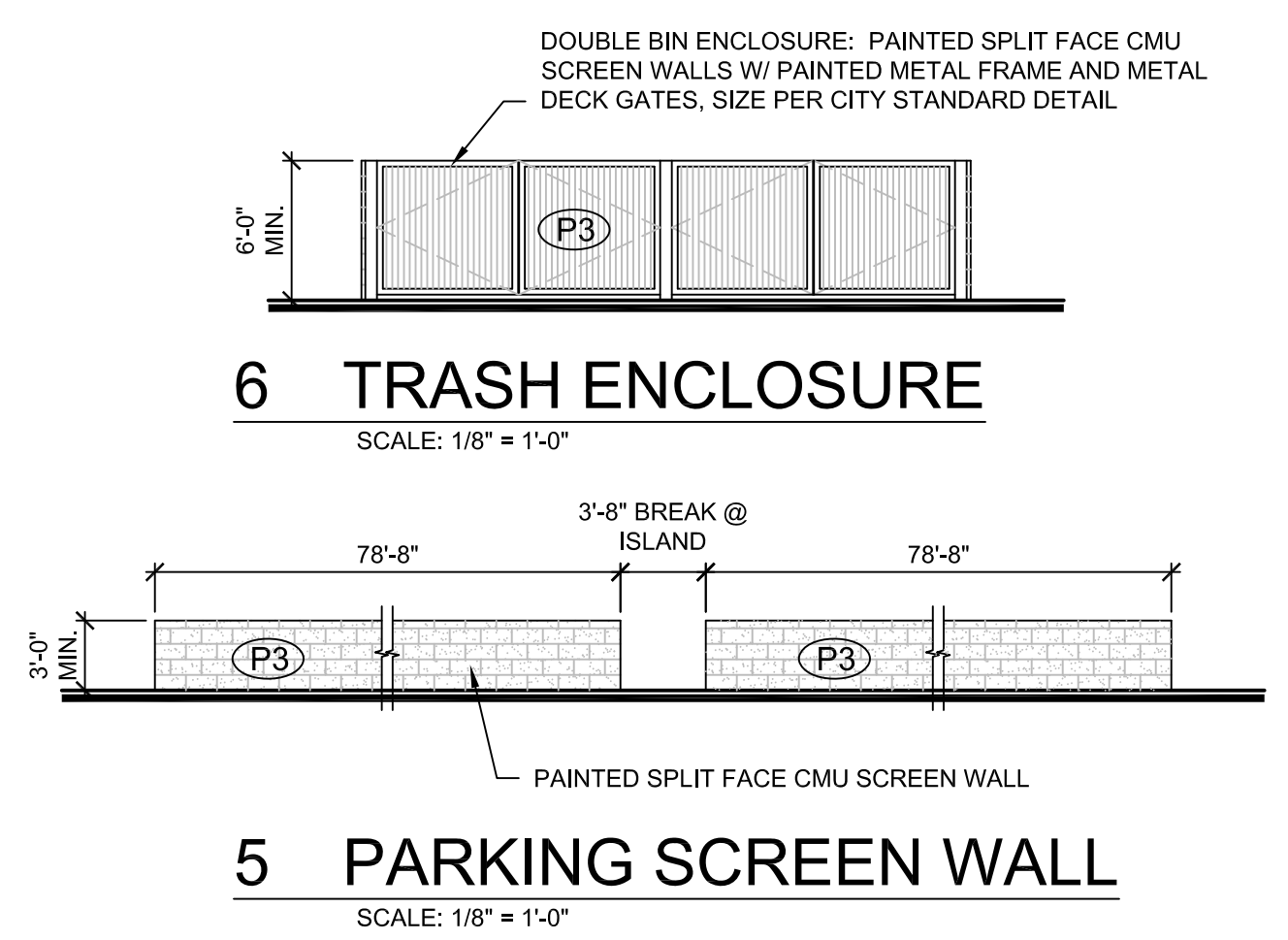
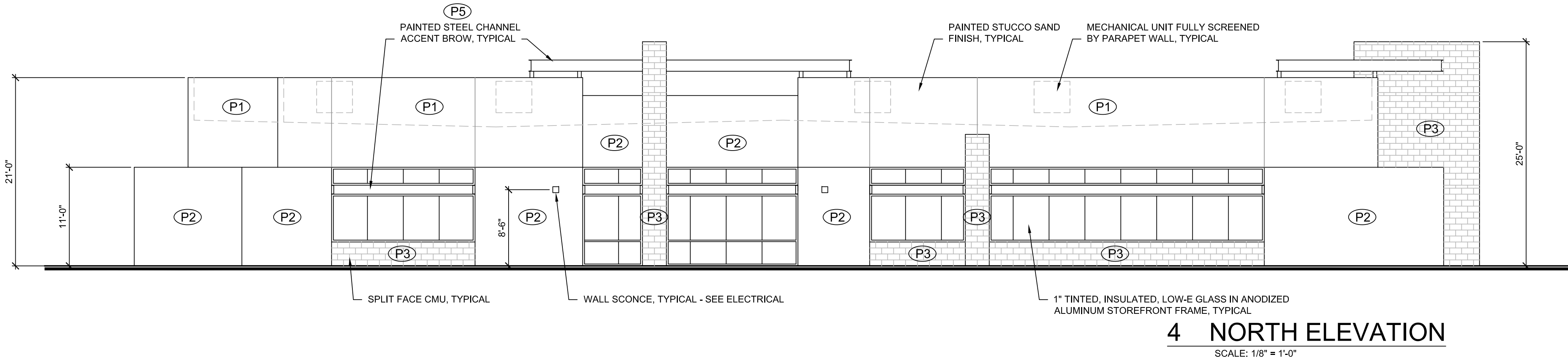
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MESA, AZ

08.25.17

MESA MEDICAL





PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

- P1 DEC741 'BONE WHITE', LRV 69
P2 DEC752 'BIRCHWOOD', LRV 49
P3 DEC750 'BISON BEIGE', LRV 27
P4 DE5881 'NEWBURY PORT', LRV 10
P4 DET467 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

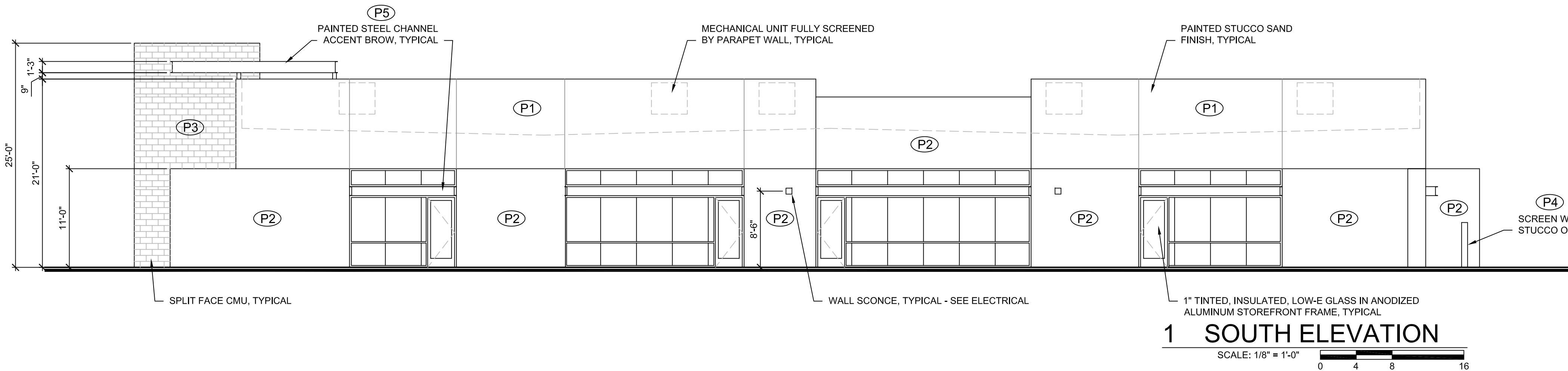
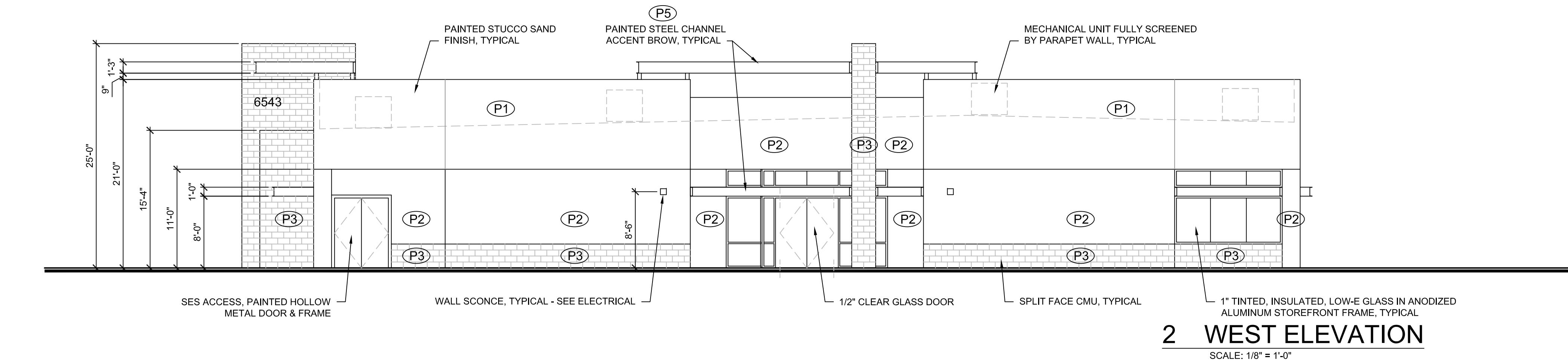
CLEAR LOW REFLECTIVE VISION GLASS:
GUARDIAN SNR 43 / CLEAR; 1\"/>

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES

ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

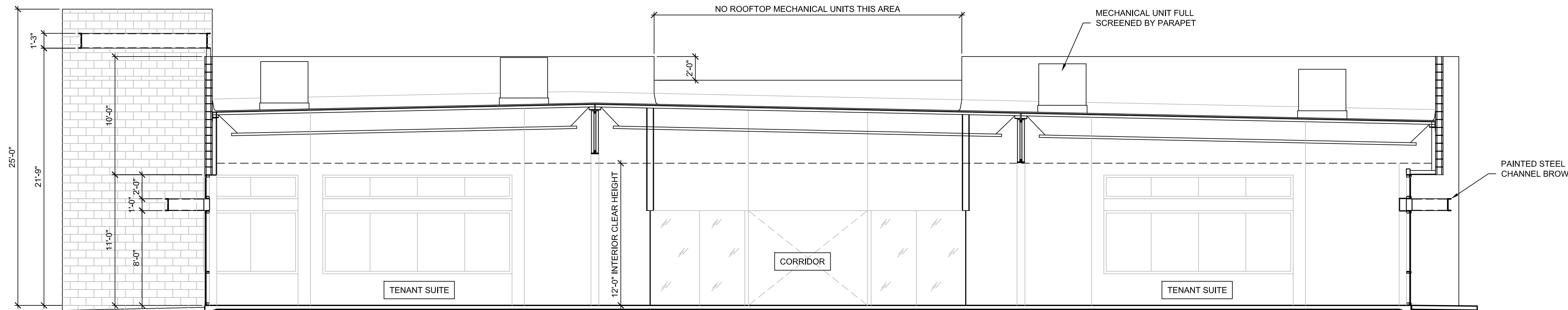
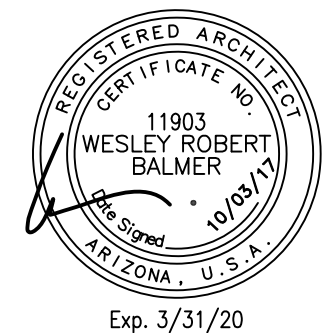
ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

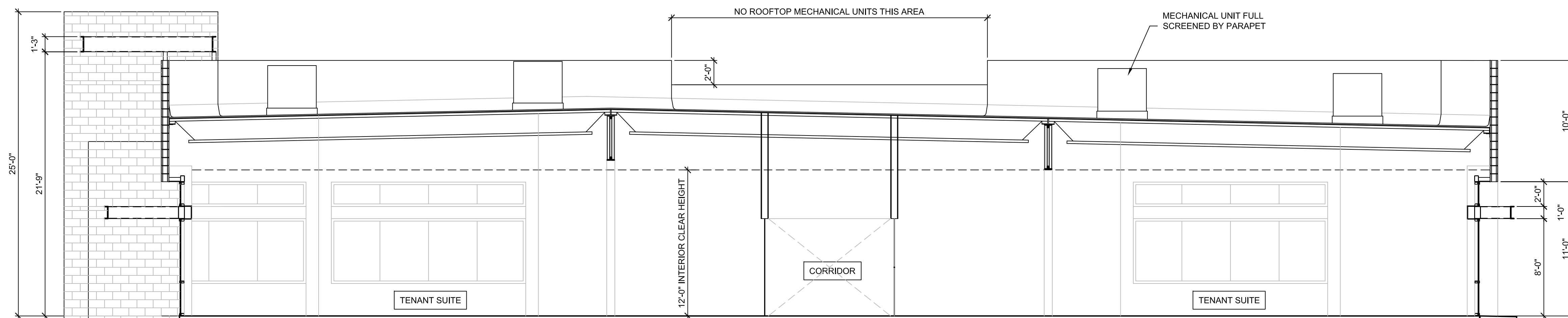


1 SOUTH ELEVATION

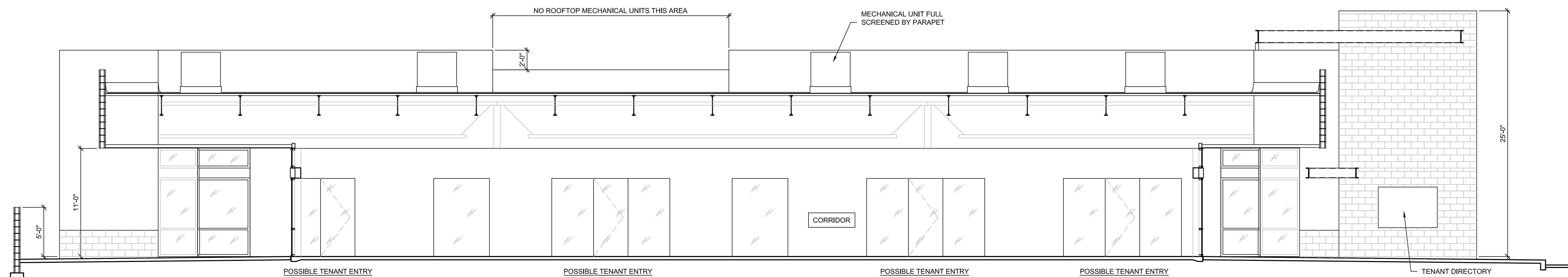
SCALE: 1/8\"/>



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8

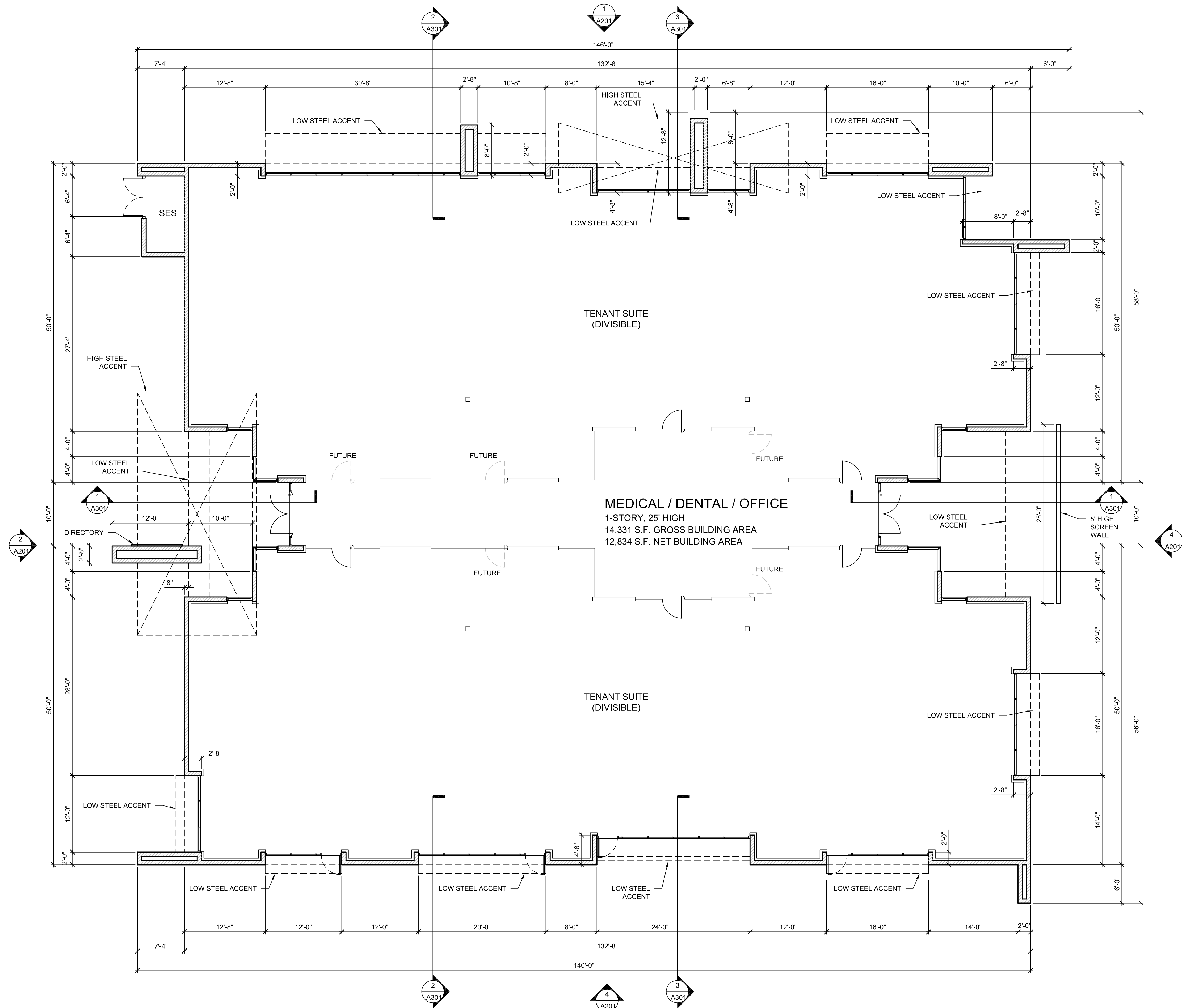
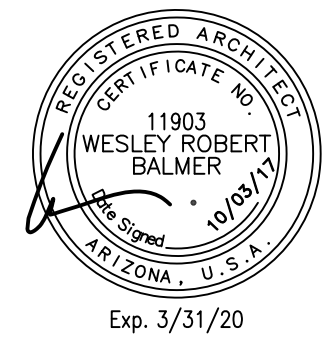


1 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8

SSB - MESA MEDICAL
MESA, AZ
BUILDING SECTIONS

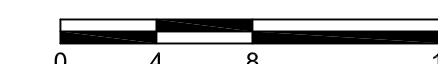
A-301
37010
03OCT17





1 FLOOR PLAN

SCALE: 1/8" = 1'-0"



SSB - MESA MEDICAL
MESA, AZ
FLOOR PLAN

A-102
37010
03OCT17



LEGAL DESCRIPTION

LOT(S) 46, 47, 48, 49, OF POMEROY ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 173 OF MAPS, PAGE 43 AND CERTIFICATE OF CORRECTION RECORDED MAY 30, 1975 IN DOCKET 11181, PAGE 168.

PROJECT DATA

APN:	141-65-082, -083, -084 & -085
ADDRESS:	6543 E. McKELLIPS MESA, AZ 85034
ZONING:	NC (NEIGHBORHOOD COMMERCIAL)
PROPOSED USE:	MEDICAL / DENTAL / OFFICE
OCCUPANCY:	OFFICE (B)
CONSTRUCTION TYPE:	V-B, AFES (per NFPA 13)
SITE AREA:	GROSS: 105,260 S.F. (2.416 Acres) NET: 71,040 S.F. (1.631 Acres)
BUILDING AREA:	GROSS: 14,331 S.F. NET: 12,834 S.F.
LOT COVERAGE:	12,834 S.F. / 71,040 S.F. = 18%
PARKING REQUIRED:	12,834 S.F. / 200 S.F. = 64 Spaces
PARKING PROVIDED:	64 Total
ACCESSIBLE PKG. REQ'D:	2 Spaces
ACCESSIBLE PKG. PROV'D:	2 Spaces (included in total parking count)
COVERED PARKING:	12 Spaces (included in total parking count)
BICYCLE PARKING:	6.4 Spaces Required; 8 Spaces Provided
APPLICANT:	SEAN LAKE or VALERIE CLAUSSEN 1744 S. VAL VISTA DRIVE, SUITE 217 MESA, AZ 85209 480.461.4670 sean.lake@pewandlake.com valerie.claussen @pewandlake.com

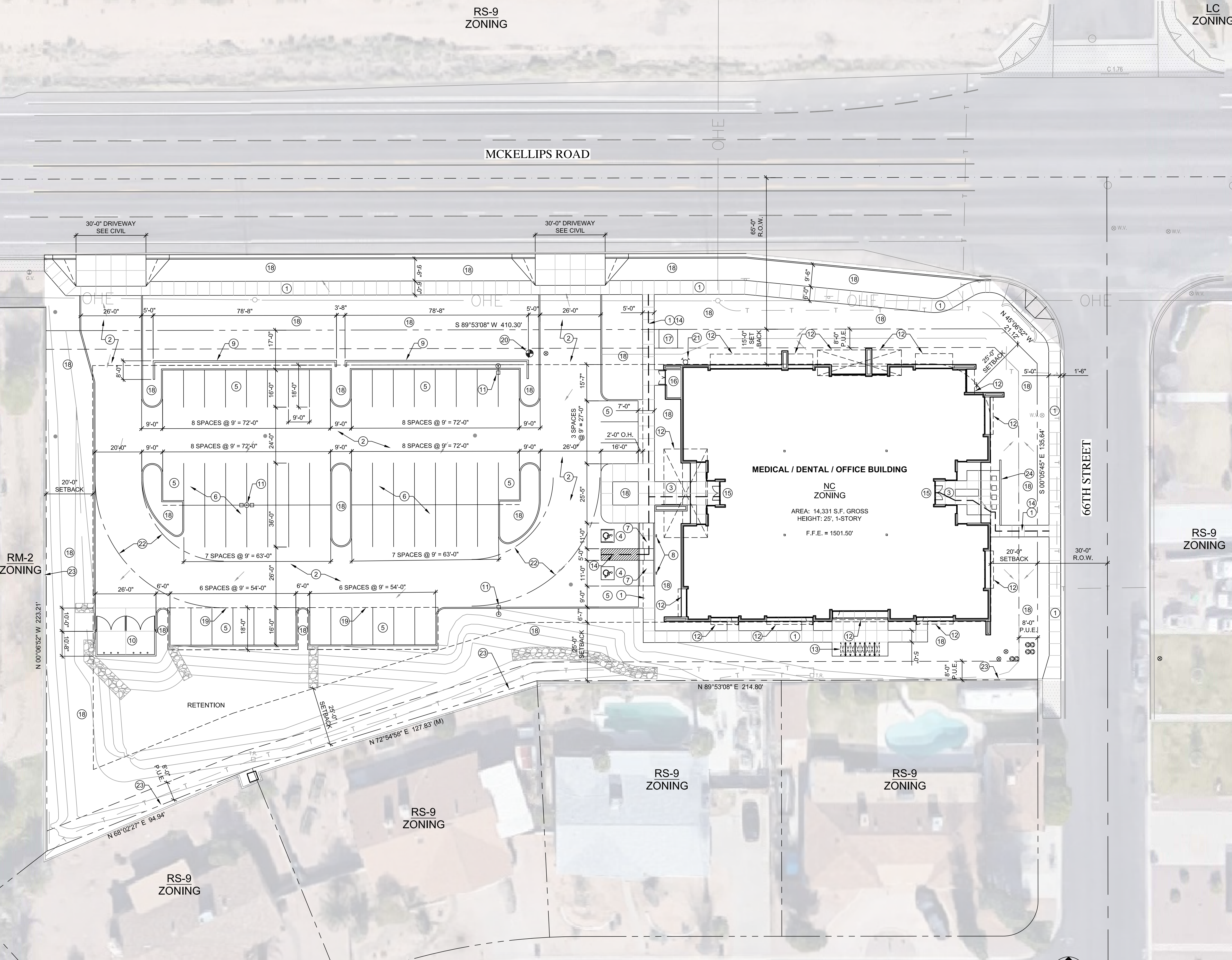
BUILDING AREA DEFINITIONS:
GROSS AREA = OUTSIDE FACE OF WALL / BUILDING DRIP LINE
NET AREA = INSIDE FACE OF WALL / INSIDE FACE OF GLASS

SITE PLAN KEYNOTES

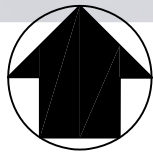
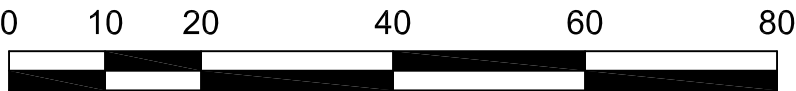
1. NEW CONCRETE SIDEWALK - WIDTH PER PLAN
2. NEW ASPHALT PAVEMENT - SEE CIVIL DRAWINGS
3. NEW CONCRETE ENTRY PAVEMENT - SEE CIVIL DRAWINGS
4. ACCESSIBLE PARKING SPACE (11'-0" WIDE x 16'-0" DEEP W/ 2'-0" OVERHANG, TWO SPACES SHARE 5' WIDE AISLE)
5. STANDARD PARKING SPACE (9'-0" WIDE x 16'-0" DEEP W/ 2'-0" OVERHANG)
6. STANDARD PARKING SPACE (9'-0" WIDE x 18'-0" DEEP)
7. ACCESSIBLE RAMP - SEE CIVIL DRAWINGS
8. ACCESSIBLE PARKING SPACE SIGNAGE
9. 3' HIGH, 8"x8"x16" SPLIT FACE CMU PARKING SCREEN WALL, PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 5 / A-201
10. DOUBLE BIN REFUSE ENCLOSURE ON CONCRETE PAD WITH BOLLARDS PER CITY OF MESA STANDARD DETAILS PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 6 / A-201
11. NEW LIGHT POLE & BASE - SEE ELECTRICAL DRAWINGS
12. PAINTED STEEL CHANNEL ACCENT BROW ABOVE - SEE ELEVATIONS
13. BICYCLE PARKING SPACE, 2' x 6' CLEAR SPACE, 2 SPACES SHARE ONE U-SHAPED RACK
14. ACCESSIBLE ROUTE TO ACCESSIBLE PARKING SPACES AND THE PUBLIC WAY
15. PRIMARY BUILDING ENTRY
16. SES - SEE ELECTRICAL DRAWINGS
17. TRANSFORMER - SEE ELECTRICAL DRAWINGS
18. LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
19. FUTURE PARKING CANOPY
20. NEW FIRE HYDRANT - SEE CIVIL DRAWINGS
21. NEW F.D.C. - SEE CIVIL DRAWINGS
22. FIRE TRUCK TURNING RADII - 35' INSIDE & 55' OUTSIDE RADII
23. EXISTING 6' HIGH PROPERTY LINE WALL
24. NEW 5' HIGH SCREEN WALL, STUCCO ON CMU

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REGISTERED ARCHITECT
11903
WESLEY ROBERT
BALMER
ARIZONA, U.S.A.
Exp. 3/31/20

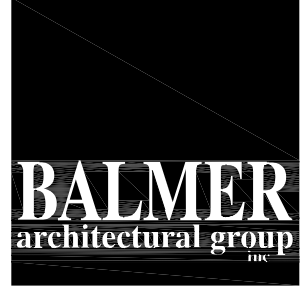


SITE PLAN
SCALE: 1" = 20'-0"



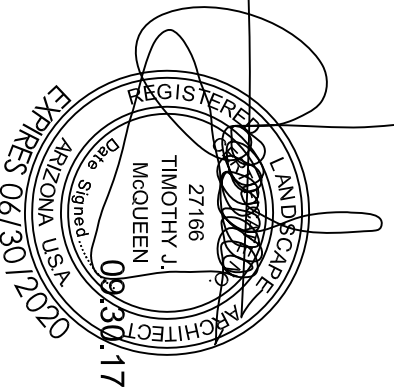
SSB - MESA MEDICAL
MESA, AZ
SITE PLAN

A-101
37010
03OCT17



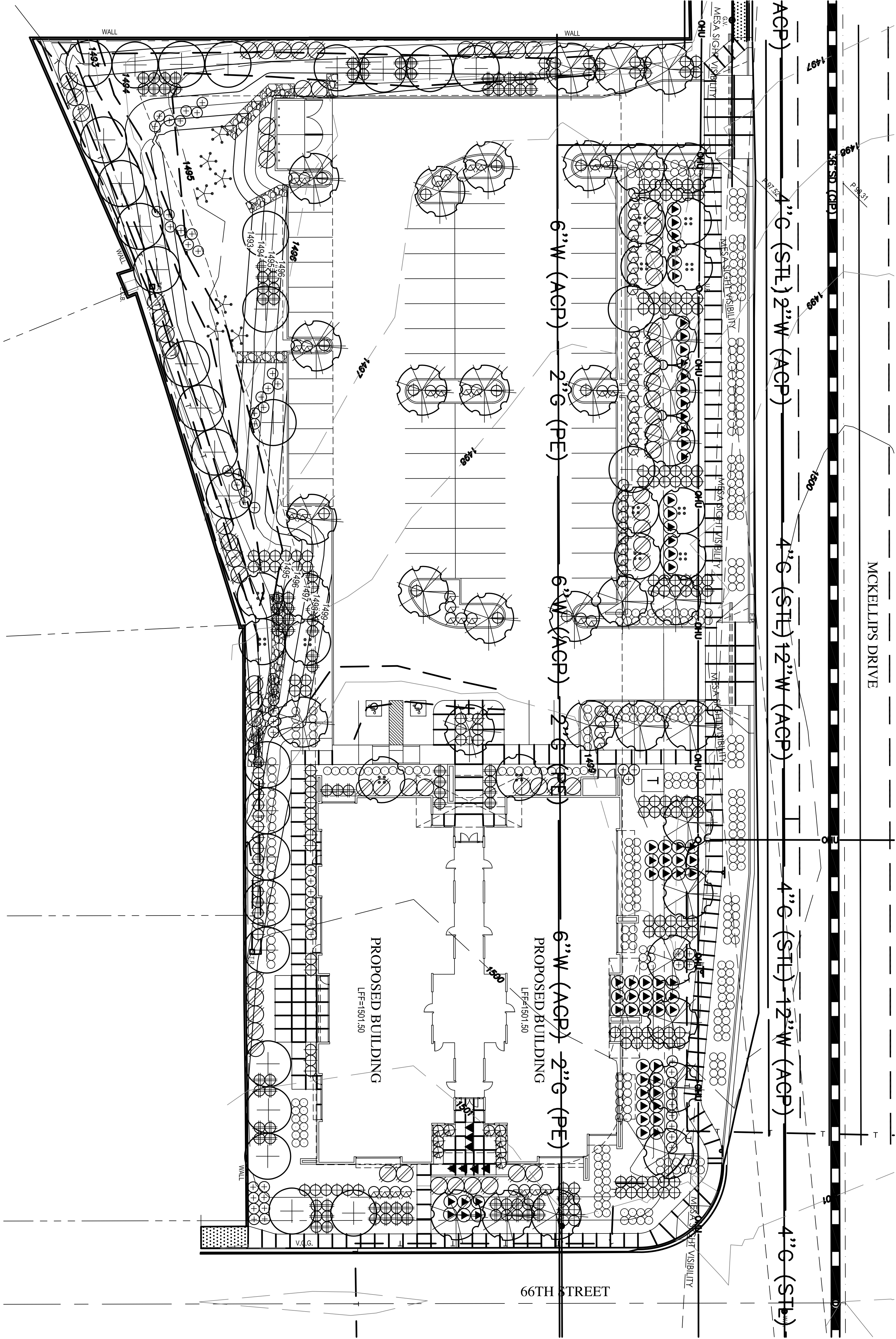
LANDSCAPE LEGEND

- PISTACHE 'RED PUSH'
RED PUSH PISTACHE
24" BOX (MATCHING)
- PISTACHE LENTISCUS
MASTIC TREE
36" BOX
- ACACIA SALICINA
WILLOW ACACIA
24" BOX
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- MULLENBERGIA 'REGAL MIST'
REGAL MIST DEER GRASS
5 GALLON
- RUPELLIA PENINSULARIS
BAJA RUPELLIA
5 GALLON
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON
- NANDINA DOMESTICA
HEAVENLY BAMBOO
5 GALLON
- PACHYCEREUS MARINATUS
MEXICAN FENCE POST
24" BOX (5 TRUNK MIN.)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



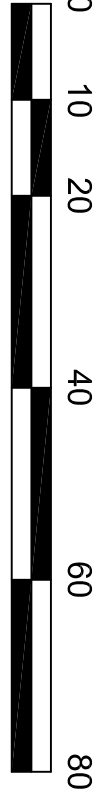
La.01
37010
09.30.17

SSB - MESA MEDICAL MESA, AZ LANDSCAPE PLAN



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
 2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
 3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
 4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
 5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
 6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.
- ARTERIAL STREET:
- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- MAJOR, MIDSECTION COLLECTOR STREET:
- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

COLLECTOR/INDUSTRIAL/COMMERCIAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
- PUBLIC OR PRIVATE LOCAL STREET:

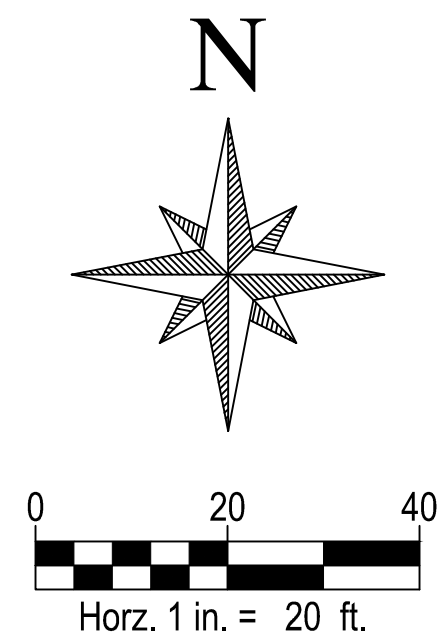
- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
- PLANT MATERIAL SIZES REQUIRED:

- TREES: (TOTAL REQUIRED TREES):
- 25% SHALL BE 36" BOX OR LARGER
 - 50% SHALL BE 24" BOX OR LARGER
 - NO TREES LESS THAN 15 GALLON
- SHRUBS: (TOTAL REQUIRED SHRUBS):
- 50% SHALL BE 5 GALLON OR LARGER.
 - NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND AND PARKING SPACE. EACH SIDE OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES
9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".

A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



PROJECT SITE DATA
ASSESSOR PARCEL NUMBER(S):
 141-65-082, 141-65-083, 141-65-084, 141-65-085
PROJECT SITE ADDRESS:
 SOUTHWEST CORNER OF 66TH STREET &
 MCKELLIPS ROAD
PROJECT SITE AREA(S):
 NET AREA = 1.63 AC (71,040 SF)
 DISTURBED AREA = 1.6± AC



















HORIZONTAL ADJUSTMENT: NONE
HORIZONTAL ROTATION: NONE

BASIN ID	TOP CONTOUR ELEVATION	BOTTOM CONTOUR ELEVATION	RETENTION VOLUME PROVIDED, V _P (CF)	RETENTION VOLUME REQUIRED V _R (CF)
A	1496.0	1493.0	13,504	11,325
TOTAL			13,504	11,325

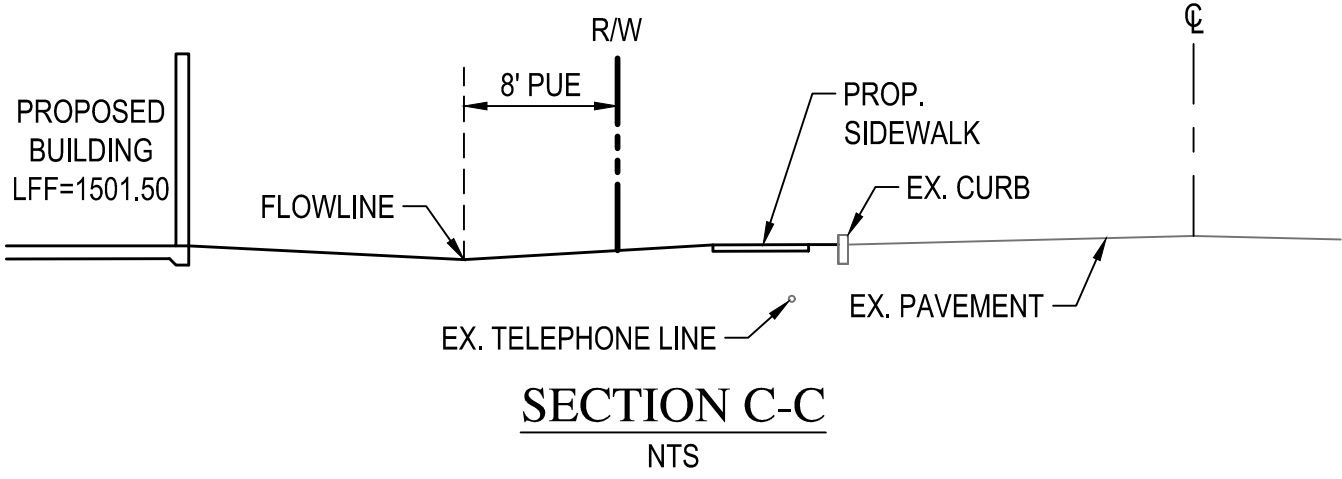
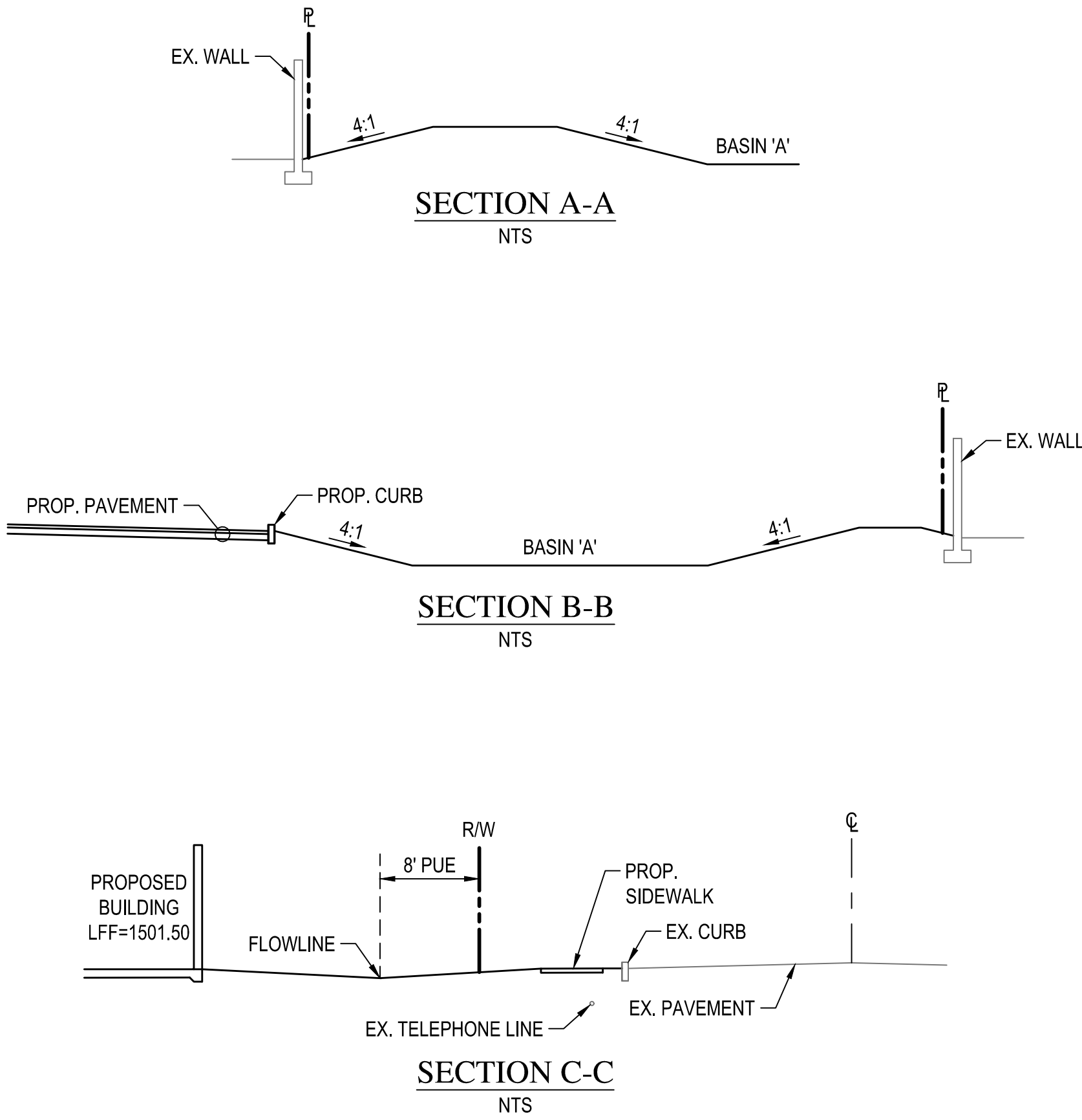
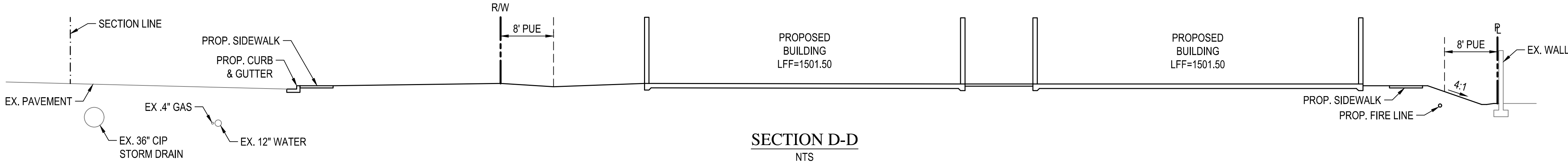
$V_R =$	$C \times (P/12) \times A$
DESIGN STORM:	100-YEAR, 2-HOUR
RAINFALL DEPTH, P:	2.16 INCHES
V_P (BASIN) =	$0.5 \times (\text{TOP CONTOUR AREA} + \text{BOTTOM CONTOUR AREA}) \times (\text{TOP CONTOUR ELEVATION} - \text{BOTTOM CONTOUR ELEVATION})$

MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
MESA, ARIZONA
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

[illegible]

LEGEND	
EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING
 SECTION LINE	 MAJOR CONTOUR
 RIGHT OF WAY	 MINOR CONTOUR
 PROPERTY LINE	 SPOT ELEVATIONS
 ROAD CENTERLINE	 STORM DRAIN PIPE
 EASEMENT	 STORM DRAIN CATCH BASIN
 UG ELECTRIC (BURIED CABLE)	 SLOPE ARROW
 OVERHEAD ELECTRIC	 GRADE BREAK/RIDGE
 UG TELEPHONE	 RIP RAP
 CABLE TELEVISION	
 CHAIN LINK FENCE	PROPOSED WATER & SEWER

ABBREVIATIONS					
BB	BOTTOM OF BANK	G.S.	GAS SERVICE	SMH	SEWER MANHOLE
BC	BACK OF CURB	G.V.	GAS VALVE	SS	SEWER SERVICE
C	CONCRETE ELEVATION	I.V.	IRRIGATION VALVE	S.V.E.	SIGHT VISIBILITY EASEMENT
CF	CUBIC FEET	I.V.B.	IRRIGATION VALVE BOX	S.V.T.	SIGHT VISIBILITY TRIANGLE
CL	CENTER LINE	LF	LINEAR FEET	TB	TOP OF BANK
C.O.	CLEAN OUT	LFF	LOWEST FINISHED FLOOR ELEVATION	TC	TOP OF CURB
CO	CURB OPENING	NG	NATURAL GROUND ELEVATION	T.J.B.	TELEPHONE JUNCTION BOX
C.T.R.	CABLE TV RISER	P	PAVEMENT ELEVATION	U.E.	UTILITY EASEMENT
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE	U.P.	UTILITY POLE
E.M.	ELECTRICAL METER	PUE	PUBLIC UTILITY EASEMENT	VCP	VITRIFIED CLAY PIPE
E.O.	ELECTRICAL OUTLET	RIM	RIM ELEVATION	VG	VALLEY GUTTER
FG	FINISHED GROUND	R/W	RIGHT-OF-WAY	V _p	VOLUME PROVIDED
FH	FIRE HYDRANT	SD	STORM DRAIN	V _r	VOLUME REQUIRED
FL	FLOW LINE ELEVATION	SDMH	STORM DRAIN MANHOLE	WE	WATER EASEMENT
G	GUTTER ELEVATION	SE	SEWER EASEMENT	WO	WALL OPENING
GB	GRADE BREAK	S.J.B.	STREET LIGHT JUNCTION BOX	W.S.	WATER SERVICE
G.M.	GAS METER	S.L.	STREET LIGHT	SVT	SIGHT VISIBILITY TRIANGLE



WOOD/PATEL
MISSION: CLIENT SERVICE®
(602) 335-8500
WWW.WOODPATEL.COM

Call at least two full working days before you begin excavation.
ARIZONA
Arizona Blank Stamp, Inc.
Dist 8-11 for 1480-STATE ST (762-346)
In Maricopa County (802) 263-1100

MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
MESA, ARIZONA
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

DATE					
DESCRIPTION					

EXPIRES 03-31-19
SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 10/03/2017
JOB NUMBER 174657
SHEET 2 OF 2